



MURRAY DICK FAWCETT HOUSE

COMPREHENSIVE PLAN



Photo Courtesy of Al Cox

MURRAY DICK FAWCETT HOUSE

517 Prince Street

Alexandria, VA 22314

<https://www.alexandriava.gov/historic-sites/murray-dick-fawcett-house>

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Murray-Dick-Fawcett House





HABS Photo (Ca. 1936)

HABS Photo, 1936



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Murray-Dick-Fawcett House





EXECUTIVE SUMMARY

The importance of the Murray-Dick-Fawcett House to understanding the patterns of residential life and Alexandria's broader history cannot be understated. The home has been remarkably preserved through its continued use as a residence over the past two and a half centuries. The home is eclectic and vernacular, but retains elements from its original construction that have long since disappeared from other similar properties within the City. These unique features, and the significant opportunity to tell the stories of Alexandria's residents beyond just the wealthiest households, has led to the City's acquisition of the home and long range plans to convert the structure into a site for public visitation and interpretation. As planning for this conversion continues, the City hired the firm of Glave & Holmes Architecture, with the assistance of Healy Kohler Design for interpretive planning, to assist in the development of a Comprehensive Plan for the future of the Murray-Dick-Fawcett House as a museum property. The City of Alexandria has brought together a working task force of its staff and cultural resources professionals, and engaged with the community and stakeholders through this process to gain input and to create a proposed outcome that will reflect the overall goals and values of the community through the interpretation of this historic property.

This Comprehensive Plan outlines the key features of the site, options for interpretive approaches, physical access, and sequences of potential use for this adaptation. Fundamentally, the goal is both to preserve the home and its remarkably intact historic fabric, and to allow the property to share the stories of its many residents and patterns of use through its history. Within this Plan, the home will undergo very limited modifications, meant to protect the conditions and character of its most historic features. New and reversible interpretive features are proposed to allow both guided and self-guided visitors the opportunity to better understand the features of the home, its past residents ranging from the property owners to those that were enslaved here, and the varied living arrangements and related commerce associated with this property. The majority of proposed changes are to the

landscape/grounds and garage, elements that do not retain the same historic integrity as the home. The plan applies an understanding of the practical needs for infrastructure for a visitor-oriented facility adding provisions for universal access, adding restrooms, staff facilities, and support infrastructure for small events and gatherings in the former garage. The grounds will be similarly enhanced to meet key functional needs, while retaining the context and simplicity of the property.

The Murray-Dick-Fawcett House Comprehensive Plan is culminated with a summarizing section on implementation, which outlines both key recommendations and potential resource needs to achieve the plan's proposed outcomes. In present dollars, to achieve the goals and features outlined in this plan, funding of approximately \$6.1M - \$8.4M in current dollars will be needed. The work will also require the continued and future engagement of design professionals, interpretive planners, preservation contractors, and supporting staff to achieve these proposed outcomes. This document will serve as guide for future resource allocation and implementation, to achieve outcomes that meet the ultimate goal to allow for the community to engage with this property and expand an understanding of the city.



Kitchen Hearth



Portico

BACKGROUND & HISTORY

The Murray-Dick-Fawcett House was acquired in 2017 by the City of Alexandria. The City engaged Glavé & Holmes Architecture in 2022 to perform a Historic Structure Report (Murray-Dick-Fawcett House Historic Structure Report - April 19, 2024) to summarize the history and evolution of the building and document its form, materials, and condition. The following summary is extracted from the Historic Structure Report (HSR), which may be consulted for additional detail:

The house has a remarkably well-preserved fabric representing a complex and layered history. It was built on a ½-acre lot that was then at the periphery of the town. Alexandria was laid out in 1749 at the request of a group of prosperous landowners and merchants, including George Washington's half-brothers, at a deep-draft anchorage on the bank of the Potomac River. In Virginia, a land dominated by agricultural pursuits, towns were intended primarily as places for markets, commerce, local government, and professionals such as lawyers and doctors who served the larger community.

FIRST PHASE

The specific site history begins with a two-room, one ½-story, 5-bay, frame house built in 1774 using timber cut in 1772 (see site plan diagrams on the following pages). The house was clad with random width beaded flush boards and stood on a foundation of coursed rubble stone. The house as built took the traditional, modest form of a one-and ½-story hall-chamber dwelling, with central entries on the front and rear into the larger heated Hall (Room 104) at the west end. The Hall connected with a smaller, unheated Chamber or inner room to the east (Room 103). The original section incorporated a pair of chambers in the upper half-story lit by dormers, and an unheated cellar.

According to architectural historians, the typical basic house by the mid-18th century consisted of these two rooms. In this case, cooking was provided in a detached kitchen, no longer standing. The owner and occupant was Patrick Murray, a merchant who operated a livery stable on the property. Patrick and Margaret Murray had arrived in the early 1770s from Perthshire, Scotland, to Virginia where he had paid quit rent on “merchants houses and shops.”

SECOND PHASE

The Murrays enlarged the house in 1784 with a shed-roofed addition containing a second pair of rooms incorporating a corner fireplace in the NW corner and possibly at the NE corner as well. The rooms basically duplicated the arrangement of the original front rooms. There was no cellar below the addition. The original back roof of the 1774 section, including its wood shingles, was preserved within the attic of the addition.

The expanded Murray House may have been reorganized at this time to include a well-finished Hall (Room 104), possibly thought of as a “Parlor” or “Drawing Room” on the west and a smaller northwest “Dining Room” (Room 105) opening off of it to the rear, convenient to the kitchen. The original Southeast Chamber (Room 103) was still unheated. An even smaller inner NE chamber (Room 107) now opened out of the NW room.



A cellar was excavated under the west end of the 1784 section at some point in the next decade. At the same time, the western corner chimney was removed and rebuilt in its current location on the north wall. To finance his building and land acquisitions in Alexandria, Murray obtained a mortgage for the sum of 348 pounds Virginia currency. By 1792, Murray appears to have been in serious financial trouble and the property was sold at public auction in 1794 to the mortgage holders.

THIRD PHASE

John Thomas Ricketts and William Newton, a pair of successful merchants, purchased the property in 1795. In 1796, the Newton household was comprised of 13 people, including the Newtons, two children, and four enslaved residents. They made the most extensive changes the frame house would undergo during its long existence. A long, brick north wing was added in 1797. It accommodated a kitchen, housing for enslaved people, a smoke house, work room, and three privy rooms, in addition to a well-finished room that served as a lobby which linked the kitchen and cellar to the main house.

What might be called a “back passage,” Room 106, was probably added within Room 105 at the same time as the 1797 wing to serve as a link between the Hall and the south end of the 1797 wing. The streets around the house were apparently lowered in the last decade of the 18th century. The lowering would have exposed the rough, unfinished stone foundation, which was replaced with Flemish-bond brick. The property was sold in 1806 to another merchant, William Smith, who owned it until 1816. He made few, if any, changes.

FOURTH PHASE

The property was purchased from the Smiths in 1816 by substantial import-export merchant John Douglass Brown of Alexandria and his wife Mary Gretter Brown. The house was reoriented 1816-1817, when the main entry

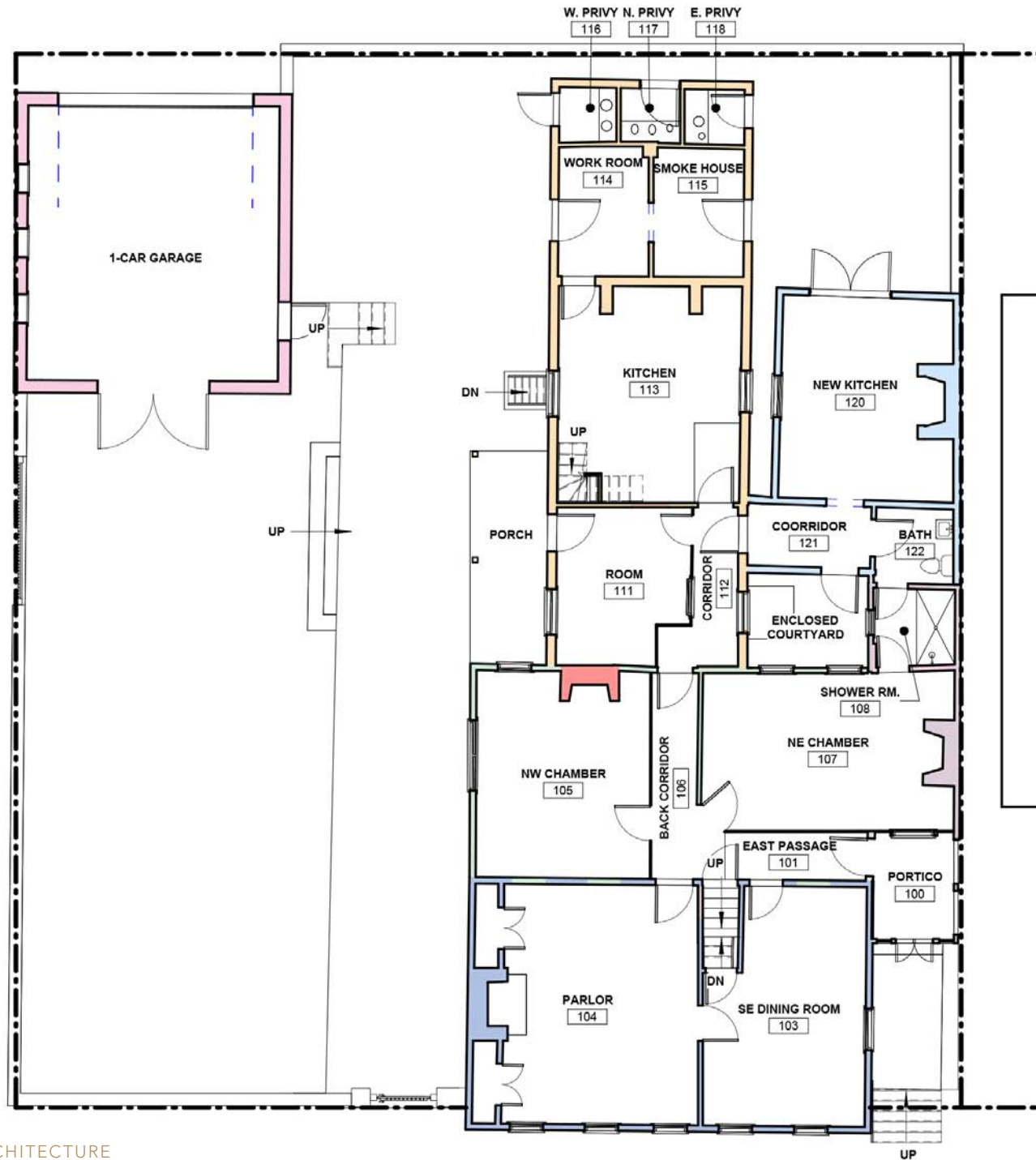
was moved to the east end of the 1784 section, the original front door was replaced by a window, and the 1784 section extended to the east, with a new interior end chimney and an adjacent louvered porch or “portico” for sitting in hot weather. The original flush siding was covered by new beaded weatherboards. A new passage was inserted to independently connect the east entry with the rooms in the main section of the house.

The property was inherited by a series of descendants of the Browns, including the Hooffs and the Fawcetts, who owned and occupied it until 2000. No substantial changes, with the exception of the addition of gas, heating, electricity, and water, were made during the next 180 years. The property was sold in 2000 to Charles Joseph Reeder, who executed repairs and made a major addition to the rear. The City acquired the property in 2017, with a provision for life occupancy by Mr. Reeder. A number of key repairs have been made, including emergency interventions on the interior and a more extensive project on the exterior in 2022.

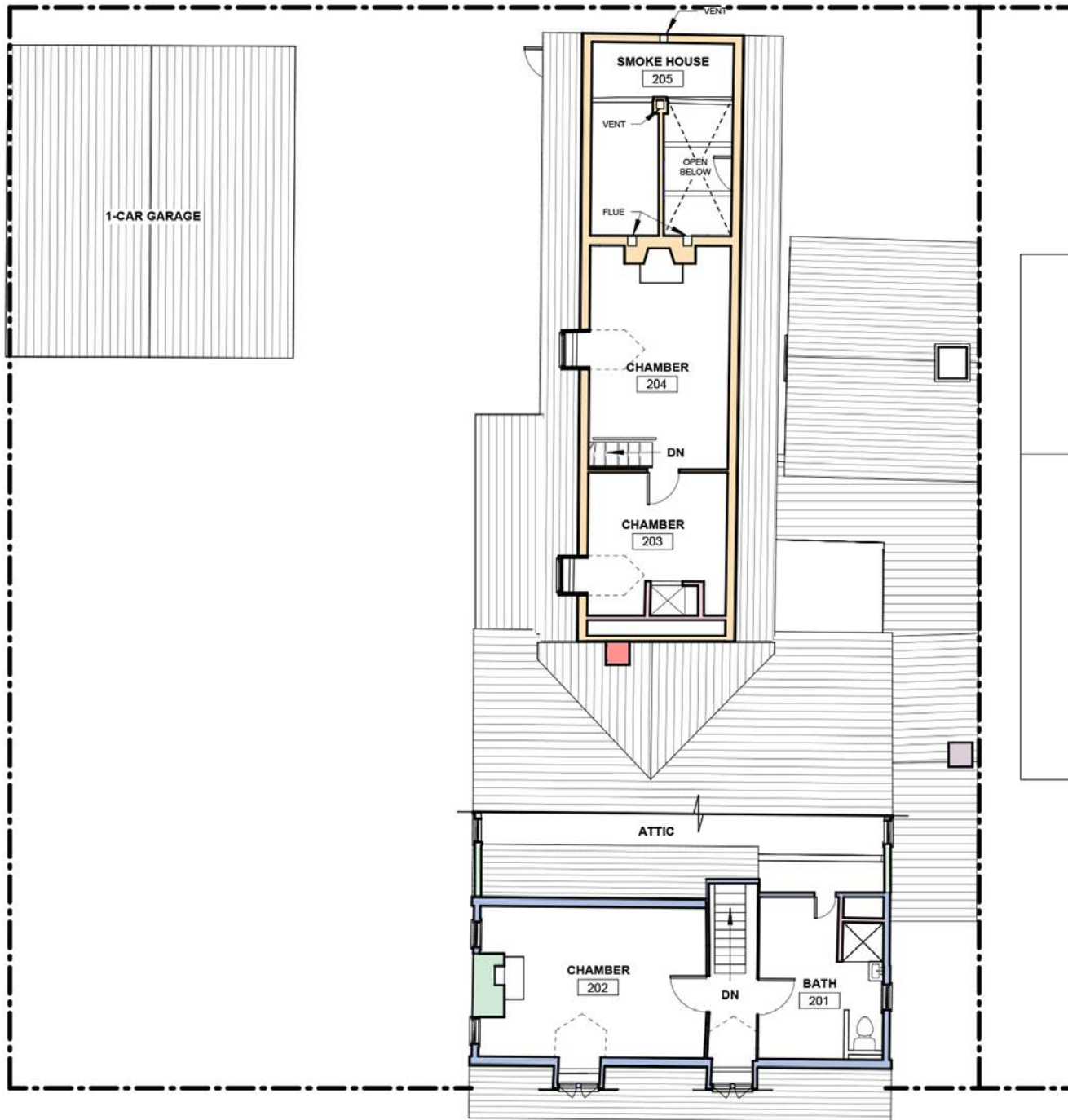
According to the National Register of Historic Places listing for the Alexandria Historic District, the Murray-Dick-Fawcett House is one of the earliest surviving vernacular houses in Northern Virginia and was in existence during the period of Old Town Alexandria’s greatest commercial success. In addition, the property retains an extraordinary degree of integrity and remains largely unaltered since the first quarter of the 19th century.

The HSR’s conclusions are based on a series of specific planning and research questions posed by the City of Alexandria. The house is well-suited to be transitioned from a private dwelling to a City-operated exhibition building or museum. The condition of the building, while much improved by recent interventions on the part of the City, including renewal/restoration of the roof, windows, and exterior envelope, still requires extensive work on the interior, including finishes, structural and mechanical changes, and other improvements. Interpretation of the property would be based on a hybrid period of interpretation ranging from 1774 to the mid-19th century, with an emphasis on its appearance at the time of the Brown-Hooff occupancy at the end of that period.

EXISTING PLANS





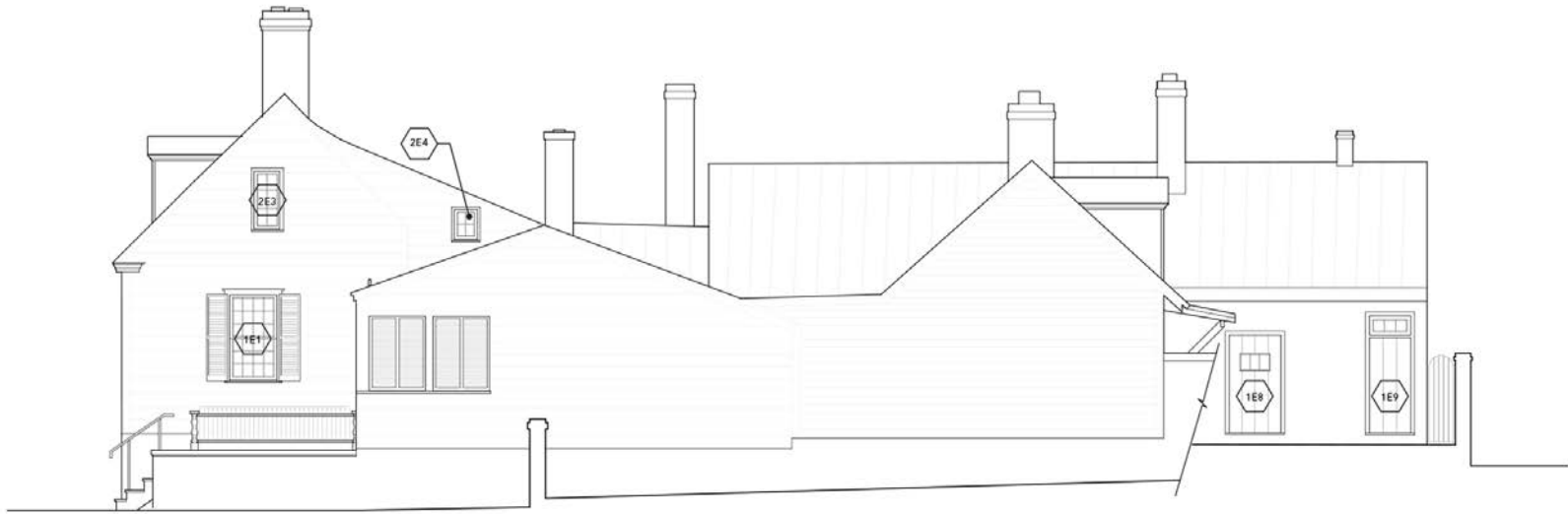




Current West Elevation



Current South Elevation



Current East Elevation



Current North Elevation

SUMMARY OF PLANNING PROCESS

The Murray-Dick-Fawcett House Comprehensive Plan has been prepared through an 8 month planning process. The process commenced with the establishment and engagement of a working project team of the City's Office of Historic Alexandria, including historians, archaeologists, architects, museum and education professionals, and conservation and preservation specialists. The team engaged with a design and planning professional team, led by Glave & Holmes Architecture of Richmond, VA to prepare the Plan. The process included the following key steps:

- I. Two Internal Planning Workshops - In these workshops the team engaged in a process of programming and goal setting for the adaptation and interpretation of the home, supporting structures and grounds.
- II. Two Public Feedback Sessions – Two public listening sessions engaged project stakeholders including local residents and neighbors, museum/interpretation professional peers and specialists, City staff, and community members to discuss potential outcomes and key priorities for the project.
- III. Conceptual Planning – The process included multiple reviews of planning approaches and interpretive options to discuss the potential implications of the proposed concepts.
- IV. Cost Estimating – Features and proposed approaches are evaluated for potential costs and resource requirements for implementation.
- V. Plan Preparation – These efforts are summarized in this document, a final Comprehensive Plan that will serve as a roadmap for the implementation of the Plan as resources become available.

These efforts were supported by prior work by the City of Alexandria to undertake a significant restoration effort for the building's exterior between 2021-2023, and by the preparation of a Historic Structures Report by Glave & Holmes Architecture in 2024. The process has been based in careful evaluation of the historic fabric, an understanding of the building and property evolution over its history and an approach to prioritize historic preservation of the Murray-Dick-Fawcett for the engagement and interpretation by present and future residents of the City of Alexandria.

PROJECT DESCRIPTION

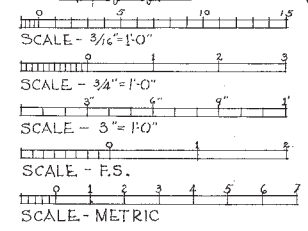
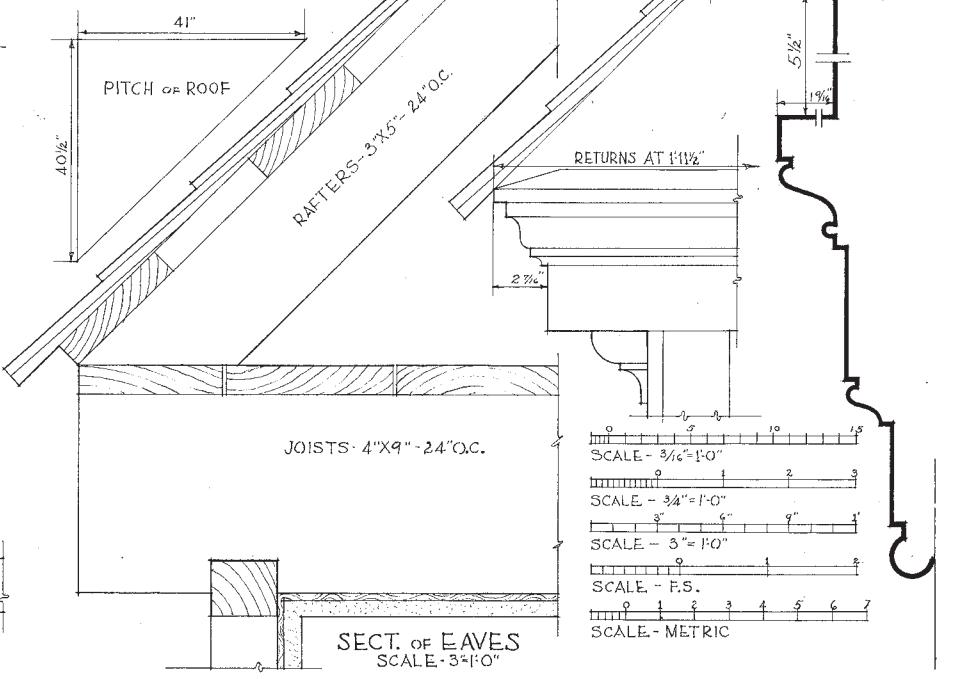
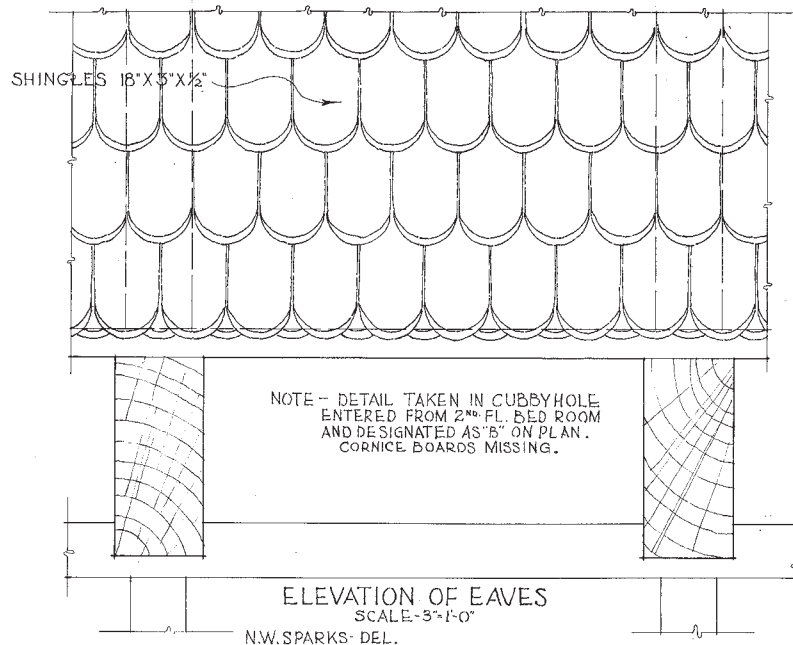
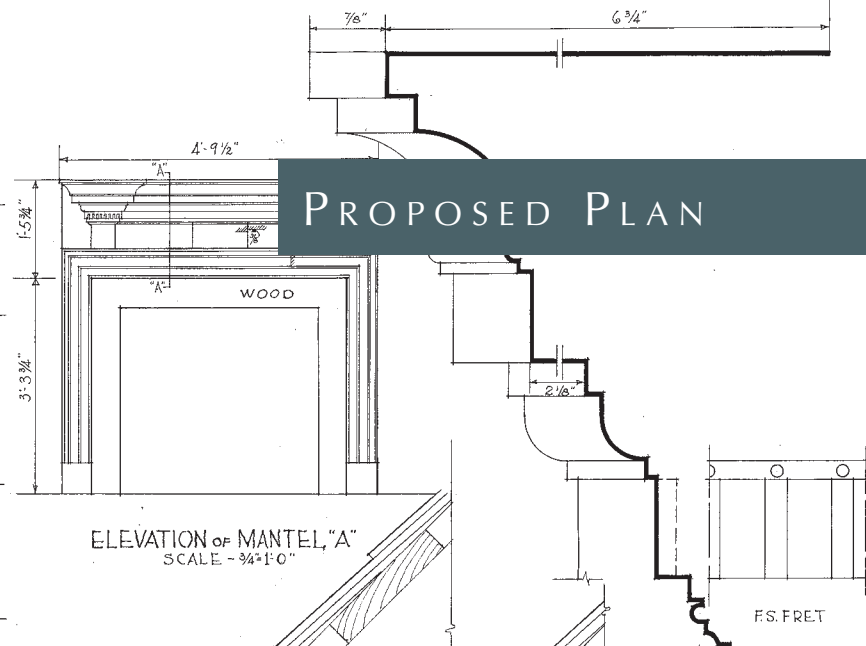
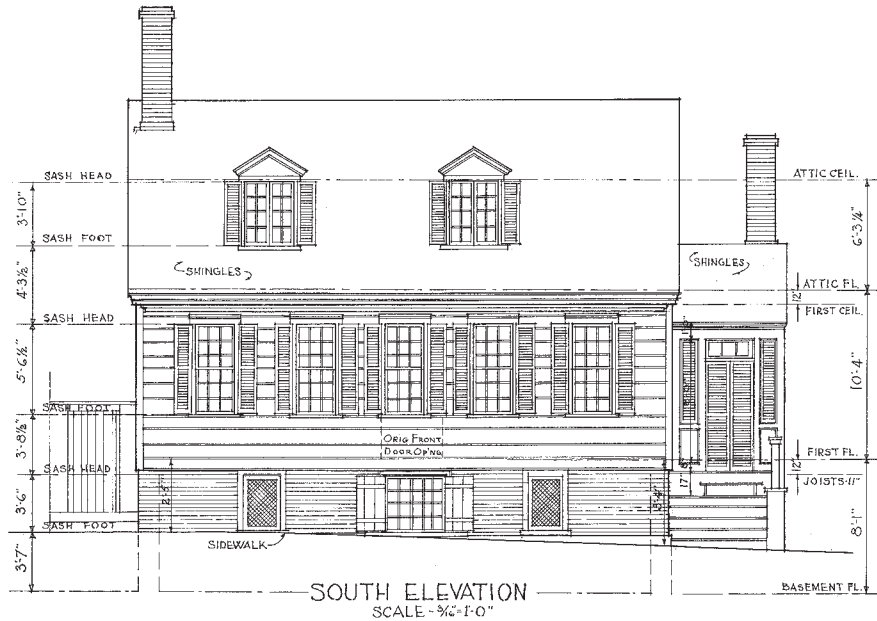
The Murray-Dick-Fawcett House is a c. 1774 wood frame residence, reported to be one of the oldest extant residences in the City of Alexandria currently in use. The house and property have a long history, that has seen many changes and use patterns by both traditional and non-traditional family groupings, enslaved people and paid labor, and commercial and private enterprise. Of the unique features of this modern house are the myriad of representative artifacts and elements of this evolution and use that remain present within the structure. The thrill of this house is, in essence, its ability to capture in a microcosm a vast number of stories and historical narratives that expand the understanding of urban domestic life beyond a traditional house museum.

The Comprehensive Plan for the Murray-Dick-Fawcett House outlines the key components for the planned future transition of the house from a single-family residence to a visitor-oriented interpretive space. The home will be transitioned into a space that will allow for the City to interpret both the architectural evolution of 18th century homes and the varying lives of persons who lived in Alexandria through its history. It is envisioned in this plan that the house and gardens will be opened to public visitation, with access limited in the interior of the home to small groups and tours. To achieve this plan, further outlined in the full Comprehensive Plan document, the home will require a series of restorations and improvements to address visitor needs, achieve some level of accessibility and to manage the house with respect to its long-term care and preservation while allowing the public to learn, and discover the stories which lie within. The restoration needs are outlined in detail in the Murray-Dick-Fawcett House Historic Structure Report. The improvements identified here, consist of additional modifications beyond the basic repairs and restoration work necessary to serve anticipated visitor needs as a site of public visitation and programming, and range from site improvements to the implementation of interpretive exhibits in and around the facilities. These improvements have been categorized in a series of project scopes that may be achieved in tandem or as a phased implementation as funding opportunities allow.

Murray-Dick-Fawcett House



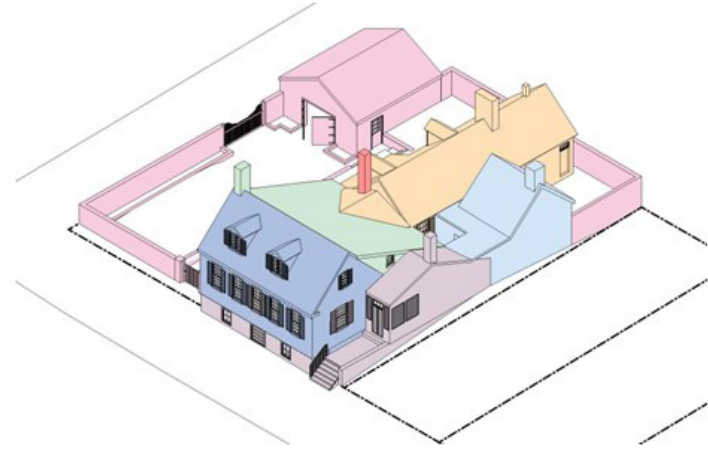
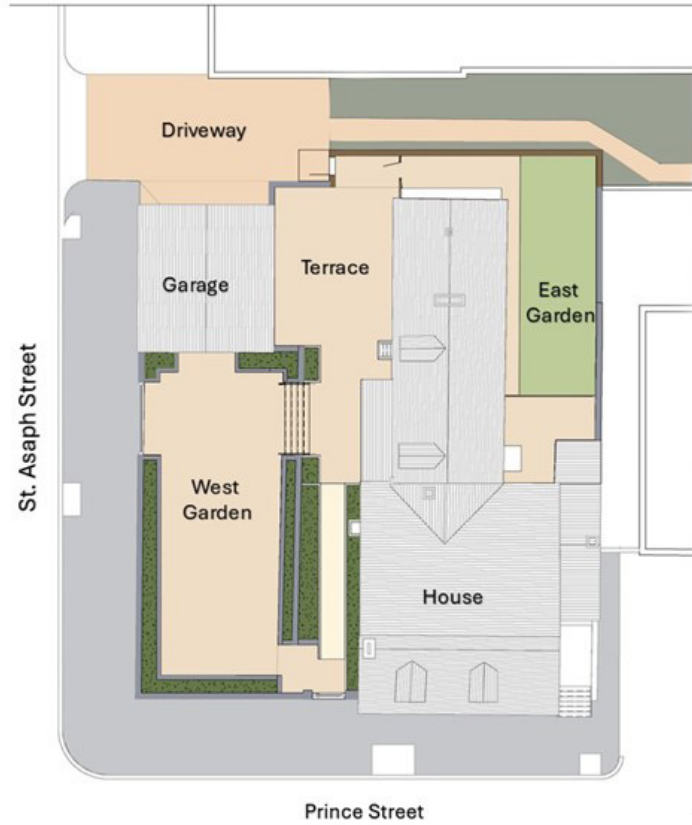
PROPOSED PLAN



PROJECT COMPONENTS

For the preparation of a Historic Structures Report for the Murray-Dick-Fawcett House, the home and grounds were evaluated for their existing conditions and historic significance. In the Historic Structure Report, recommendations were made and prioritized to outline restoration activities needed to preserve and restore the house for its current function and preservation as a residence. The Comprehensive Plan envisions changes that would be necessary to turn the home and grounds into a public site open for visitation and interpretation as a museum property of the City of Alexandria. This builds upon the prior work and assumes that preservation work and other improvements will be undertaken to achieve a phased implementation of the Comprehensive Plan.

For the purposes of future planning and the potential for phased implementation, the Comprehensive Plan has been subdivided into a series of components. Each of these components represents a distinct scope of work, and is not intended to overlap with other components (though in the actual implementation phase, multiple components would likely be combined to form phases for construction).



PROPOSED SITE PLAN

MURRAY-DICK-FAWCETT HOUSE COMPREHENSIVE PLAN

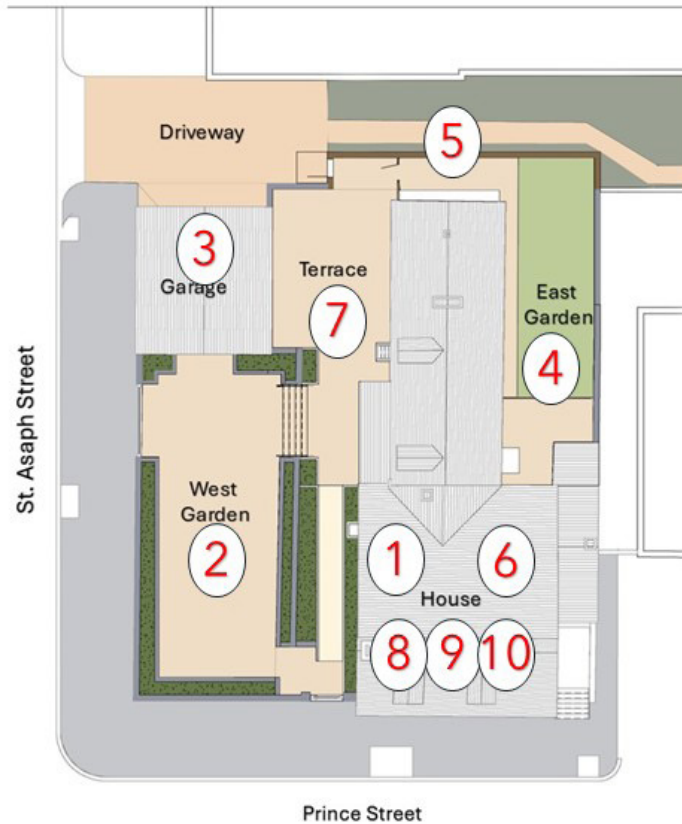
ALEXANDRIA, VIRGINIA



The project scopes are identified as follows:

- a. Component I – Exterior Renovations
- b. Component II – West Garden Upgrades
- c. Component III – Garage Updates
- d. Component IV – Kitchen Removal / Repair / East Garden
- e. Component V – Garden Wall/Alley/Privies
- f. Component VI – Interior Repairs First Floor
- g. Component VII – Exterior Exhibits
- h. Component VIII – Interior Exhibits
- i. Component IX – Interior Repairs – Basement
- j. Component X – Interior Repairs – Second Floor

The narratives below describe the modifications, in conjunction with the concept plans, that would need to occur in each of these groupings. The narratives also describe restoration scope, previously estimated and grouped in priority categories in the Historic Structures Report, that would need to be completed in order to complete the proposed improvement scope. For the purposes of clarity, the restoration scope needs to be clearly delineated from the scope of new work and improvements.



Plan Components:

- I. Exterior Renovations
- II. West Garden Upgrades
- III. Garage Updates
- IV. Kitchen Removal
- V. Garden Wall/Alley
- VI. Interior Repairs - 1st Floor
- VII. Exterior Exhibits
- VIII. Interior Exhibits
- IX. Interior Repairs - Basement
- X. Interior Repairs - 2nd Floor



COMPONENT 1 - EXTERIOR RENOVATIONS

A. Summary Description:

Once the City takes full ownership of the property, minor exterior renovations need to be made in order to keep the property secure and provide general property management. The scope of work in this component would include:

- a. Installation of new door hardware and door refurbishment or replacement as required to be able to fully secure the house. This includes work to all existing exterior doors that provide access to the interior of the home.
- b. Installation of a new monitored security system, including smoke detection and security cameras for the property.
- c. Historic Structure Report Scope Included: Work includes the completion of all recommendations (priorities 1,2 & 3) from the Historic Structures Report for the exterior of the home, except the following:
 - i. Work associated with the removal of the 2002 kitchen wing.
 - ii. Work associated with repairs to the bowed north wall, privies and associated masonry enclosures.

B. Materials Description for Change:

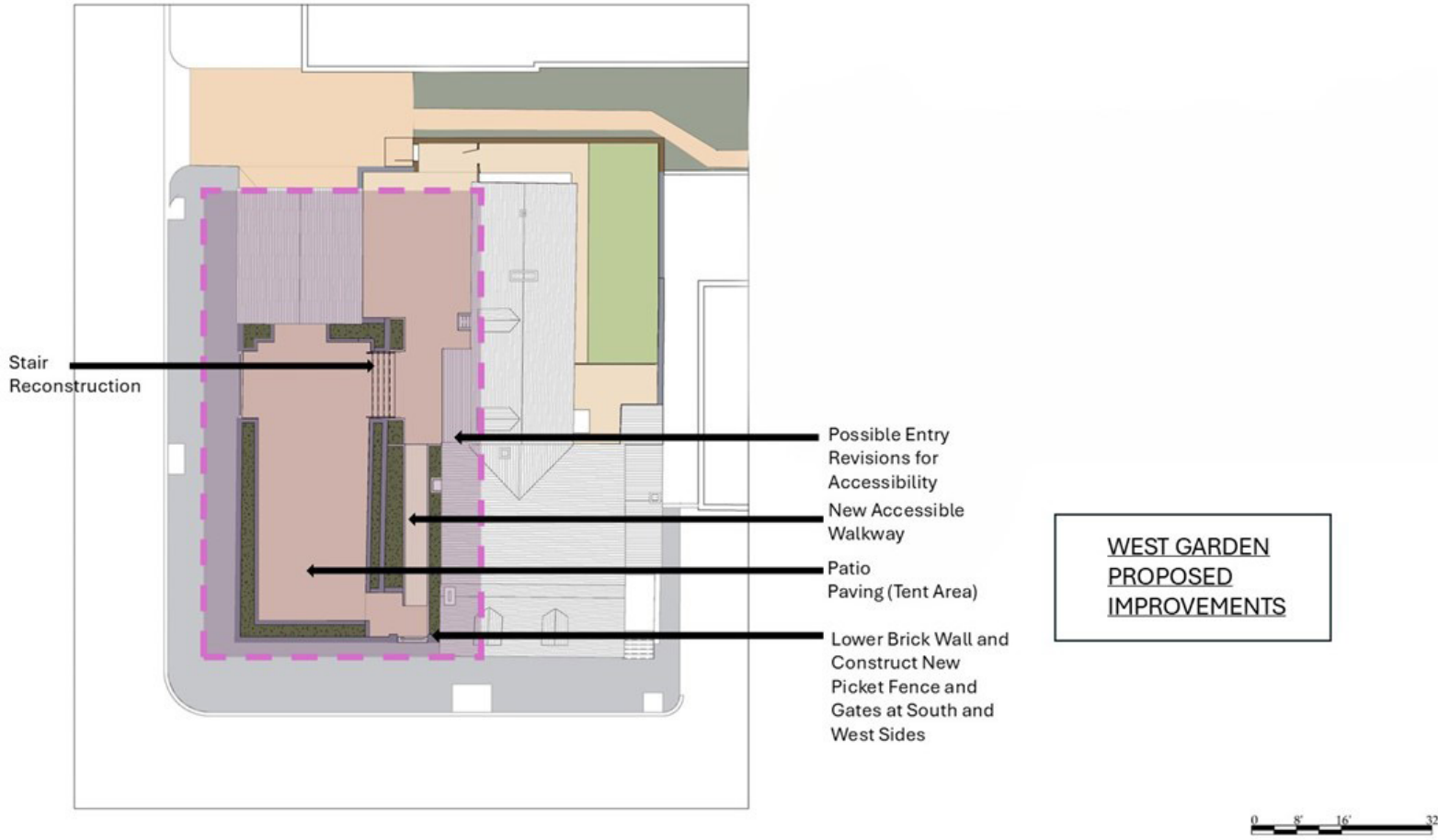
- a. Exterior Modifications:
 - i. Doors: Existing doors are generally wood units of varying age and configuration. Where fully functional, existing door hardware shall remain. All exterior doors shall have secure locking functions; add locking systems where needed. New hardware will be of a common manufacturer with period appropriate appearance. Hardware systems are anticipated to utilize manual keyed systems, excluding electronic access components. Doors will be patched, repaired and refinished to ensure weather-tightness and proper operations. Minor repair or replacement of frames

and wood trim associated with repair is anticipated.

- ii. Security: The security system and alarm components shall be wireless systems. Any panel or data access required should be installed in the garage. Install new security cameras and alarm utilizing reversable and least invasive means feasible.



West Garden



**WEST GARDEN
PROPOSED
IMPROVEMENTS**

PROPOSED SITE PLAN

MURRAY-DICK-FAWCETT HOUSE COMPREHENSIVE PLAN

ALEXANDRIA, VIRGINIA



COMPONENT 2 - WEST GARDEN UPDATES

A. Summary Description:

The west garden of the Murray-Dick-Fawcett House requires reconfiguration to allow for proper site circulation and accessible entry into the house. The scope of the West Garden includes, but is not limited to, alterations to a portion of the site wall, an arrival area, a tent/event area, an ADA ramp, and an upper terrace. Major improvements include the paving of the patio, raising the existing upper terrace and the addition of an ADA ramp. This scope of work includes all site areas to the west of the house, including the garden walls along St. Asaph and Prince Street. The proposed scope of work in this area will include the following components:

- a. Event Area: Create a new tent/event area by converting existing lawn to a new permeable masonry paver surface.
- b. Upper Terrace: Raise the existing upper terrace to allow for universal access to the existing west doors of the house. Work will include reuse of existing brick pavers. Remove the wood deck of the west porch and reinstall as terrace, using existing brick pavers where feasible. Temporarily shore the porch roof structure during the construction. Reuse or install new porch columns on new concrete footings.
- c. Ramp: Create a new accessible exterior ramp to allow for ADA compliant access between the two garden levels.
- d. Stairs: Reconstruct the existing exterior masonry stairs. Reconfigure brick steps to meet the raised upper terrace. Add metal freestanding handrails on each side of the stairs.
- e. Garage Side Entry: Remove the existing stairs to access the east side door of the Garage. Infill and pave this area to be flush with raised upper terrace.
- f. Site Wall/Gates: The south and west site wall (along St. Asaph Street and Prince Street) will be lowered to 2'-0" height with a newly constructed brick cap and wood picket

fence on top. Retain all removed bricks for future east garden repairs, where feasible. When the site wall is lowered, the entry gate and pedestrian picket gate will need to be reconfigured. New wood gates to be installed at existing gate locations. Provide new hardware on gates for egress.

- g. Landscape areas: Provide new terraced landscaping beds in all areas between paved locations.
- h. Historic Structure Report Scope Included: None.

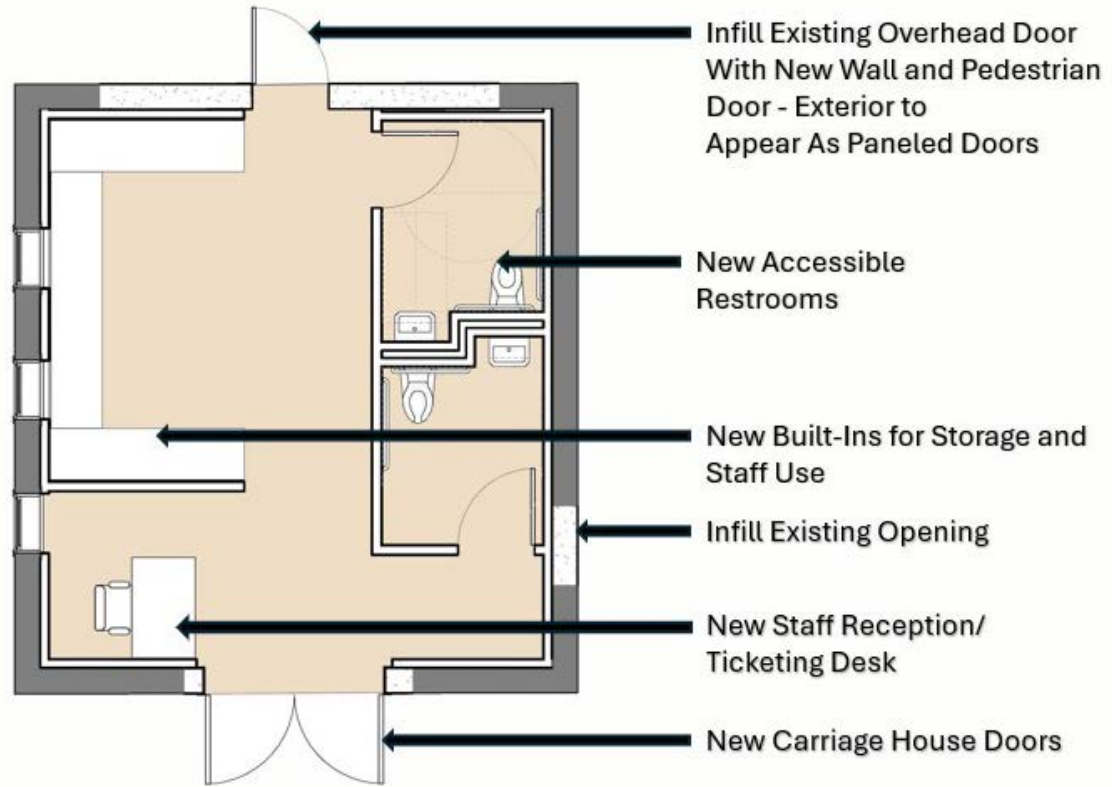
B. Materials Description for Change:

- a. Site Materials
 - i. New Masonry: New masonry pavers with pervious pavement system designed to infiltrate water on site without the use of area drains, underground catchment or piping system.
 - ii. Existing and Reinstalled Masonry: Use existing brick pavers on 2" sand bed.
 - iii. Ramp: Regrade area as required. Utilize new masonry pavers. Walkways to be 1:20 slope or less to avoid ramp designation and avoid requirement for handrails.
 - iv. Upper Terrace: Raise existing upper terrace for accessibility and access to existing side doors of the house. Salvage existing pavers for reuse in this area. Remove wood deck of west porch. Temporarily shore the porch roof structure during the construction. Reuse or install new porch columns on new concrete footings. Masonry pavers to extend under porch area, graded to allow for accessible path to existing exterior doorway.
 - v. Reconstruct Stairs: Install new steps utilizing salvaged brick set into poured concrete base.
 - vi. Fence/gates: New wood fence and gates to be rot-resistant wood species, painted in typical pickett configuration. Matching new wood gates to be installed at existing gate locations. Provide new hardware on gates for egress, with option for lock installation.
 - vii. Landscape areas: Provide new terraced landscaping beds in all areas between paved locations.

b. Systems:

- i. Provide new outdoor lighting and electrical connections for events surrounding the lower terrace. Electrical service for the West Garden shall be all new materials and connected back to the Garage.

GARAGE PLAN



GARAGE - FLOOR PLAN



COMPONENT 3 - GARAGE RENOVATION

A. Summary Description:

Work includes the renovation of an existing 20th century brick and wood frame garage to convert it for use for public facilities and staff services. The existing structure is approximately 500 SF. Work will include the replacement of exterior doors, the construction of interior partitions to add two new public bathrooms, a catering/storage area and a staff work station. The staff work station will serve as a ticket counter for the public when in operation. The new structure will be fully accessible. The proposed scope of work in this area will include the following:

- a. Construct interior improvements as outlined in the proposed floor plan.
- b. Replace all exterior doors as noted.
- c. HSR Scope included: Windows, walls and roof of the Garage will be cleaned, repaired as necessary and restored to their original conditions. Exterior finishes generally match existing. All existing wood surfaces will be refinished and painted.

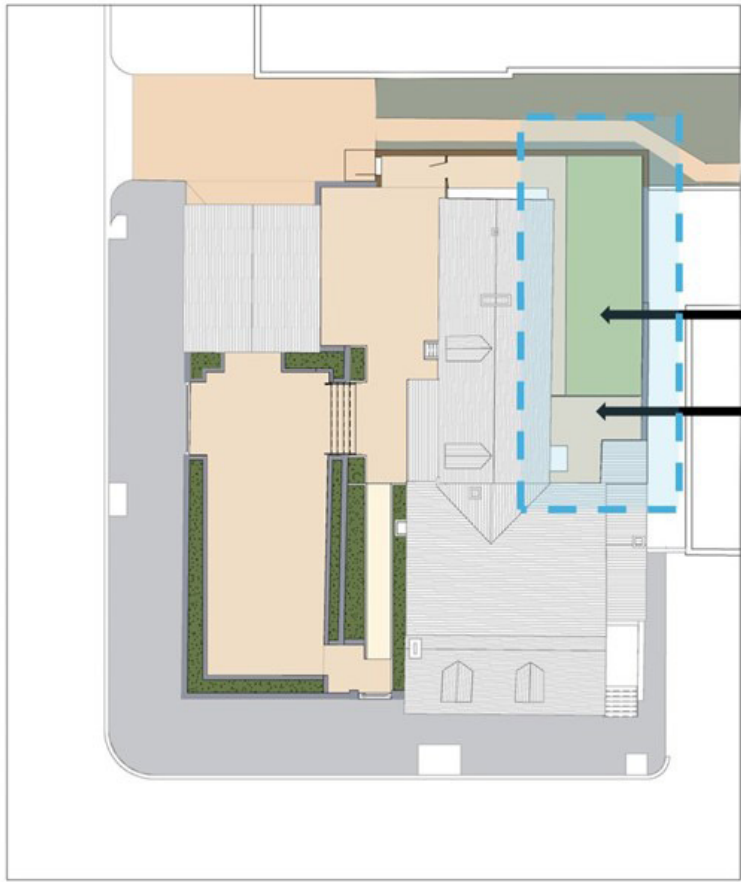
B. Materials Description for Change:

- a. Exterior Modifications:
 - i. Doors: New exterior pedestrian doors will be painted wood. Hinged barn doors will be replaced with new wood barn doors of similar appearance. Overhead garage door will be removed and replaced with new simulated hinged barn doors in existing opening, to include a new pedestrian door. Doors will have appropriate egress hardware for light commercial use.
 - ii. Exterior Wall Repair: Work will include infilling an existing door. The infill will be wood frame and CMU below grade with brick veneer to match the existing exterior materials. Infill will close existing opening and retain a seam at the original outline of the door opening, so the change is visually discernable. The exterior drain will need to be modified or removed.

- b. Interior Materials
 - i. Structure Type: New interior walls/partitions to be insulated wood frame with moisture resistant gypsum board finish.
 - ii. Finishes:
 - 1. Floor: Floors will be LVT over existing or patched concrete slab.
 - 2. Ceilings: Interior ceilings will be gypsum board with insulation above. Infill framing and strap existing structure as required to create flat surface.
 - 3. Walls: Interior walls will be painted with simple wood base molding.
 - 4. Specialty Items:
 - a. Cabinetry will semi-custom veneer plywood cabinets with full-overlay wood doors. Cabinetry will be painted.
 - b. Bathrooms will have 60" high ceramic tile wainscot.
 - c. Bathrooms to be fully accessible with stainless steel grab bars, accessibility provisions, and changing tables as required.
 - iii. Interior Restoration Scope: No interior finishes are planned for restoration.

c. System Requirements

- i. Plumbing Description: Plumbing fixtures to be wall mounted ceramic fixtures for light commercial use. All systems are new and underground drainage will be required to connect to public water and sewer. Plumbing fixtures to have options for winterization for periods of museum closure.
- ii. Mechanical Description: Mechanical system will be a new mini split system with through wall units mounted at locations of infill doorways.
- iii. iii. Electrical Description: All electrical systems will be new. Provide a new 200 AMP panel with capacity to serve any outdoor lighting and electrical services for the West Garden. New lighting to be surface mounted throughout. Provide additional electrical outlets at work areas and wifi systems for the facility.



New Kitchen Removal
and Site Repairs (Pea
Gravel Surface)

New Patio and
Walkway Access

EAST GARDEN
PROPOSED
IMPROVEMENTS



PROPOSED SITE PLAN

MURRAY-DICK-FAWCETT HOUSE COMPREHENSIVE PLAN

ALEXANDRIA, VIRGINIA



COMPONENT 4 - KITCHEN REMOVAL / REPAIR / EAST GARDEN

A. Summary Description:

Work includes the removal of the one-story ca. 2000 Kitchen addition and repair of the surrounding site on the east garden. The existing structure to be removed is about 360 SF and includes the removal of the new Kitchen, Bathroom and Corridor (rooms 120,121, & 122). After demolition, repairs to the remaining structure should follow the Secretary of Interior Standards for Historic Restoration. Install a new terrace at the location of the east garden exterior entries. During this phase, modifications to shower room 108 will be necessary to return the room back into a store room as it was during the house's period of significance.

The proposed scope of work in this area will include the following:

- a. Regrade east garden area. Remove and relocate pavers areas. Create new unpaved gravel surface.
- b. Form new walkway around the rear ell of the house to allow for continuous pedestrian access from the east entry door to the west garden terrace.
- c. Repair and refinish existing east entry door to return to exterior use.
- d. Construct new bulkhead and stair on east side of the house for exterior basement access.
- e. Historic Structure Report Scope Included: Scope included from Historic Structure Report estimates includes removal of the new kitchen, repair of exposed exterior surfaces and connections, and roof repairs.

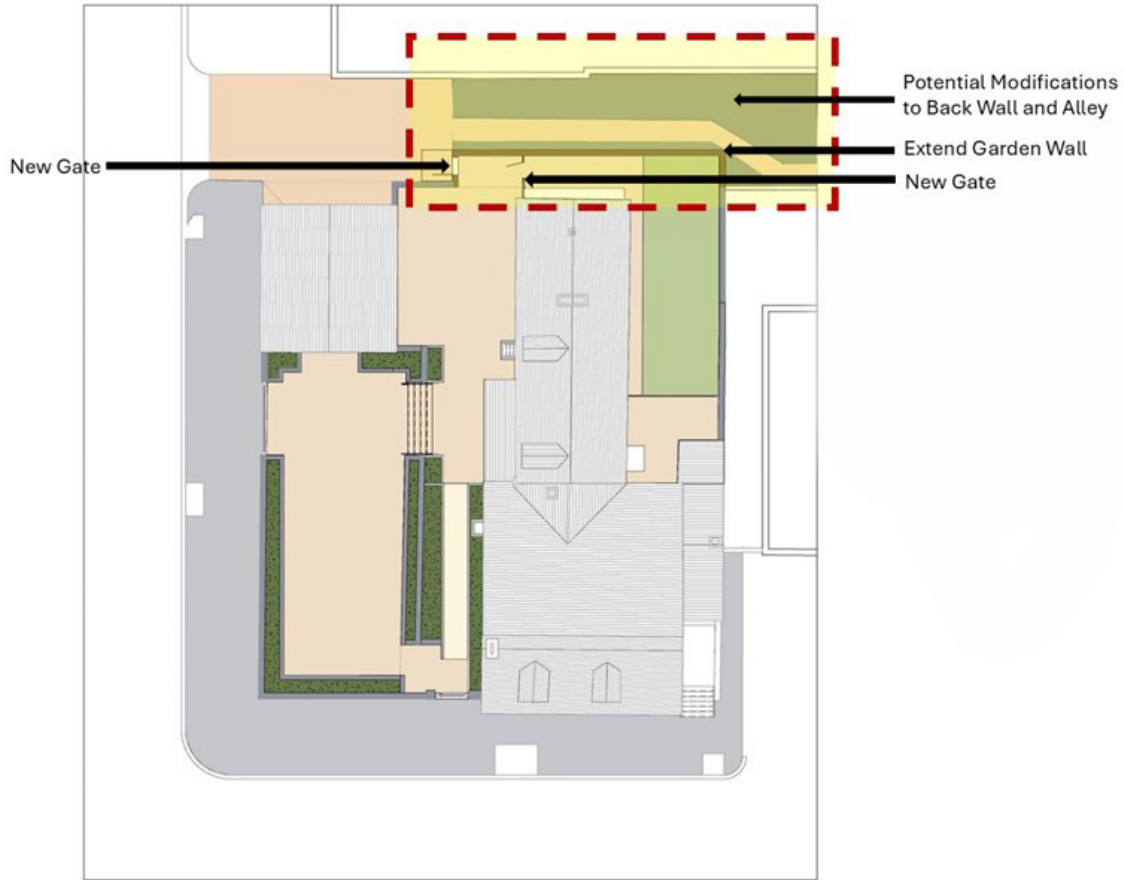
B. Materials Description for Change:

- a. Exterior Materials
 - i. Structure: Demolish walls, floors, roof, and ceilings of the new kitchen, bathroom and corridor (rooms 120,121, & 122).

- ii. Doors: Existing exterior double swing door and interior doors to be removed. The now exposed interior door (i.e. the wood door leading into corridor 112) to receive new secure hardware, proper egress hardware and weatherstripping. Patch and consolidate door as required and refinish. Remove and recalk the joints between brick and door frames. The door on the north wall of the Shower Room 108 should be removed and replaced with original window located on adjacent west wall. (see next section for window recommendations).
 - iii. Windows: Windows of the new kitchen to be removed during the demolition of the structure.
 - iv. Bulkhead: The bulkhead doors to be custom built painted wood, similar to existing bulkhead and doors on the west elevation.
- b. Exterior Restoration Scope:
- i. Exterior finishes: Repair the exterior walls where the kitchen addition and remaining structure intersected. Exterior finishes generally to match existing. All existing wood surfaces will be refinished and painted. Consider either repainting or removing paint from brick. Brick surfaces to be cleaned by the gentlest means possible and repointed in accordance with NPS Preservation Brief #2. Use hand-operated tools to remove as much cement stucco and plaster from the east wall as possible.
 - ii. Rebuild Roof: The shed roof of Shower Room 108 will need to be reinstated.
 - iii. Windows: Move the existing window of Shower Room 108 into its original location on the north wall of the shower room. Infill and patch opening with materials to match existing.
 - iv. Window Shutters: Shutters should be rebuilt and installed in historic locations.

- c. Interior Restoration Scope:
 - i. Interior Finishes: The finishes of the shower room 108 such as window and door trim, flooring, walls, and ceiling to be repaired as necessary and repainted to a historic paint scheme.
 - ii. Interior Doors: The door on the south wall of shower room 108 will need to be relocated to its original location as it was during the house's period of significance. Add new door trim based on evidence in wall framing and historic images.
 - iii. Restoration Scope: Preserve original framing members of room 108. Finish room 108 with plaster or gypsum wallboard depending on evidence on structural members. Remove tile floor and subfloor in room 108 and reconstruct historic floor to match adjacent flooring.
- d. Site Improvements:
 - i. Enlarge cellar on the east side for expanded access to the basement.
 - ii. Install new brick patio and accessible walkway with permeable masonry pavers. Unpaved areas will be finished with pea gravel surface. Grading will need to ensure surface drainage away from the house.
 - iii. Include up to 15% planting bed areas incorporated with appropriate shrubs, trees or plant materials to the interpretation of the site.
 - iv. No irrigation, hose bibbs or other plumbing will be provided in the garden.
 - v. Restore the existing garden wall as required if disturbed by demolition activity.
- C. Systems Requirements:
 - a. Plumbing Description: All plumbing in Kitchen, Bathroom, and Shower Room (Rooms 120,122, & 108) to be removed, as well as the sanitary drainpipes that run through the yard and the cellar of the back building.

- b. Mechanical Description: All mechanical systems to be removed in the demolition of the 2000 addition. Patch or repair any remaining spaces or systems impacted by the demolition to have conditioning consistent with other existing/remaining spaces.
- c. Electrical Description: All electrical systems to be removed in the demolition of the 2000 addition. Run electrical service to any new site lighting in the East Garden. Provide discreet exterior lighting systems mounted to the existing and new sections of the garden wall.



REAR SITE WALL
AND ALLEY
PROPOSED
IMPROVEMENTS



PROPOSED SITE PLAN

MURRAY-DICK-FAWCETT HOUSE COMPREHENSIVE PLAN

ALEXANDRIA, VIRGINIA



COMPONENT 5 - GARDEN WALL / ALLEY

A. Summary Description:

Work during this phase includes the partial removal, modification, and expansion of the existing 1970s site wall. A portion of the wall along the alley to the north will need to be demolished to allow for ADA compliant circulation and sufficient access to the rear of the Murray-Dick-Fawcett House. A new wall will be constructed to match the existing wall in a new location. New gates will be added in the site wall to allow access. The expansion of the wall requires the relocation of the existing alley sidewalk and will need to evaluate any potential impacts to adjacent structures. Any work along the north side of the building requires the stabilization of the bowing north wall of the privies. In addition, the three privy doors will have new glass panels installed in the existing openings, with overlay wood doors. The proposed scope of work in this area will include the following:

- a. Remove portion of existing site wall and construct new extended brick wall to match existing with metal egress gate.
- b. Add a new gate between the corner of the house and the new wall with secure locking system.
- c. Install new door systems for existing privy opens.
- d. Regrade and install new salvaged brick paver walkway around the rear of the ell, to connect the west garden to the east garden with an accessible pathway.
- e. Historic Structure Report Scope Included: Repair bowing north masonry wall. Conduct structural and restoration repairs to masonry enclosures of all privy areas. Restore privy areas.

B. Materials Description for Change:

- a. Exterior Site Wall Materials
 - i. Structure Type: The new site wall will be a solid brick wall with a brick cap. Tooth together existing brick wall and newly constructed brick wall for a seamless look.

New bricks to match and mortar to match existing in color, size, composition, and profile. Repoint existing brick of the site wall as required in accordance with NPS Preservation Brief #2.

- ii. Site Wall Gates: A secure metal gate, matching the height of the wall, will be added in the new wall to allow for access. A second metal gate will be added from the northwest corner of the house extending perpendicular to the new wall to allow access to the East Garden to be secured.
 - iii. Doors: The existing privy doorways (3), will be modified to install a new full height glass panel in the openings. The glass panel shall be secured to existing structure using non-invasive, reversable means and shall be removable by staff for maintenance. Two of the three privies have existing wood doors, which will be removed and reinstalled as outswing doors to overlay the glass panels. The third privy will have a new wood door constructed to match the existing privy doors and installed in a similar configuration. Doors shall have period appropriate hardware and shall be lockable to secure the spaces when the facility is not open to the public.
- b. Site Improvements
- i. Install ADA compliant concrete terrace/pathway along the north elevation of the relocated wall, to match existing. Adjust grading and restore plant materials in alley as required due to modifications.
 - ii. Parking: The existing brick paver parking area north of the garage shall remain. Modify paving as required for access to the new walkway and new gate installed in the relocated wall.
- c. Specialty Items
- i. Site signage: New exterior site signage should be properly installed in a manner to not affect historic materials.



COMPONENT 6 - INTERIOR REPAIRS FIRST FLOOR

A. Summary Description:

In addition to the base restoration work inside the house, a series of upgrades are necessary to prepare the house for visitor-centered use. This work includes modifications to the interior opening to the smokehouse, structural upgrades to the oldest portion of the house, and updates to electrical and mechanical systems. As noted in the Historic Structure Report, all plumbing will also be removed from the house and this work should be captured for all levels within this component of the project scope.

The proposed scope of work in this area will include the following:

- a. Enclose the existing doorway between the Workroom (114) and Smokehouse (115) with a new window to allow for visitors to view into a restored smokehouse space from the Workroom.
- b. Provide removable floor coverings for all visitor accessible areas.
- c. Provide structural upgrades to the house below Room 103 (SE Chamber) and Room 104 (Parlor) to increase the allowable to a minimum of 50 psf.
- d. Replace existing mechanical system with new mechanical systems per options outlined in the Historic Structure Report.
- e. Provide new electrical systems and service.
- f. Provide a new FM-200 fire suppression system for the house.
- g. Historic Structure Report Scope Included: Complete all first floor interior repairs (Priority 1, 2 & 3). This includes removal of all plumbing on all levels.

B. Materials Description for Change:

- a. Interior Materials
 - i. Interior Window: Provide a new 30" w x 48" high tempered glass window to fit

within the existing door opening. Infill opening as required by creating infill panel to include the window with wood framing and painted wood panel finish. The existing panel will be secured by exposed removable metal brackets mounted to the Smokehouse side of the opening. Existing door frame and trim to remain.

- ii. Floor Covering: Provide screen printed vinyl floor coverings in all publicly accessible spaces on first floor. Floor coverings to have printed image that mimics the existing floor surface for each room. Floor coverings shall be lightly tacked to the existing surfaces and removable for cleaning or replacement.

b. Specialty items:

- i. Smokehouse: Restore the interior of the Smokehouse to its original appearance. Repair or reconstruct the existing exterior door on the East Wall, with appropriate locking hardware.

C. System Requirements:

- a. Structural Upgrades: Structural work will include the addition of a new beam and supporting columns on concrete footings and/or sistering existing framing with new wood framing.
- b. Plumbing Description: Remove all plumbing, fixtures, piping and associated components. Cap services as required in a non-discernable location. Plumbing removal includes removal of added partition walls (second floor), and restoring finishes in these spaces to their historic appearance.
- c. Mechanical Description: Provide new mechanical system per Upgrade Option #3 outlined in the HSR.

d. Electrical Description:

- i. Service: Provide a new 400 AMP service to the house to replace all existing panelboards.
- ii. Electrical Wiring: Rewire existing fixtures as required and provide new circuits and plugs as required for new exhibit components.
- iii. Emergency Lighting: Install emergency lighting.
- iv. Fire Alarm: Install new centrally wired smoke detection and security alarm system that is wired back to a central panel in the garage.



- e. Electrical Restoration Scope:
 - i. New lighting: Install concealed lighting in the privies (room 116, 117, & 118).
- f. Fire Suppression:
 - i. Provide a new FM-200 fire suppression system for the existing house. Storage tanks and panels shall be located in the basement.



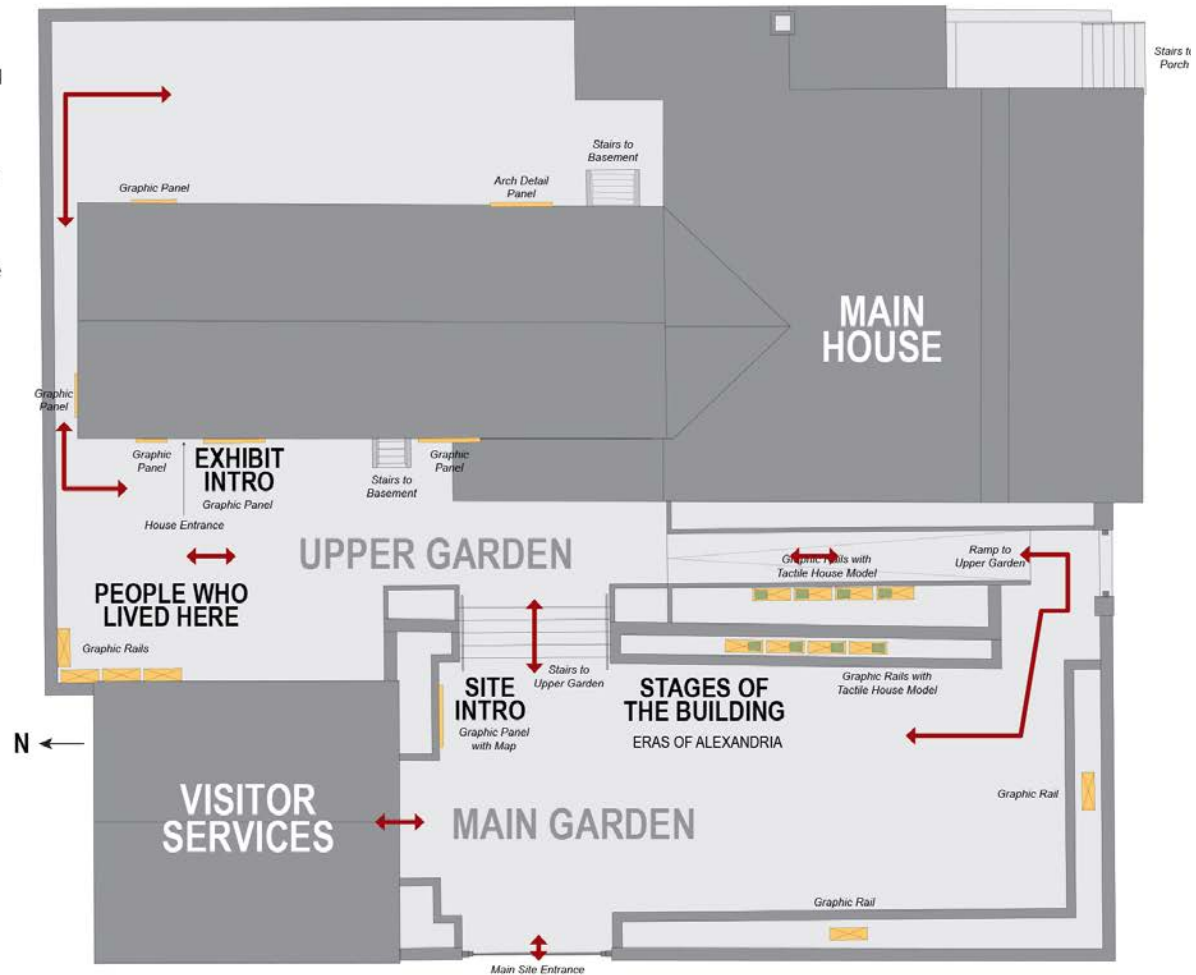
COMPONENT 7 - EXTERIOR EXHIBITS

- A. Summary Description: Work included in this scope will include all exterior interpretation and exhibitions components.
- B. Estimating Scope: Estimates for this scope will be prepared and provided by the exhibit designer and will be excluded from the cost estimate.



OVERALL PLAN Ground Level

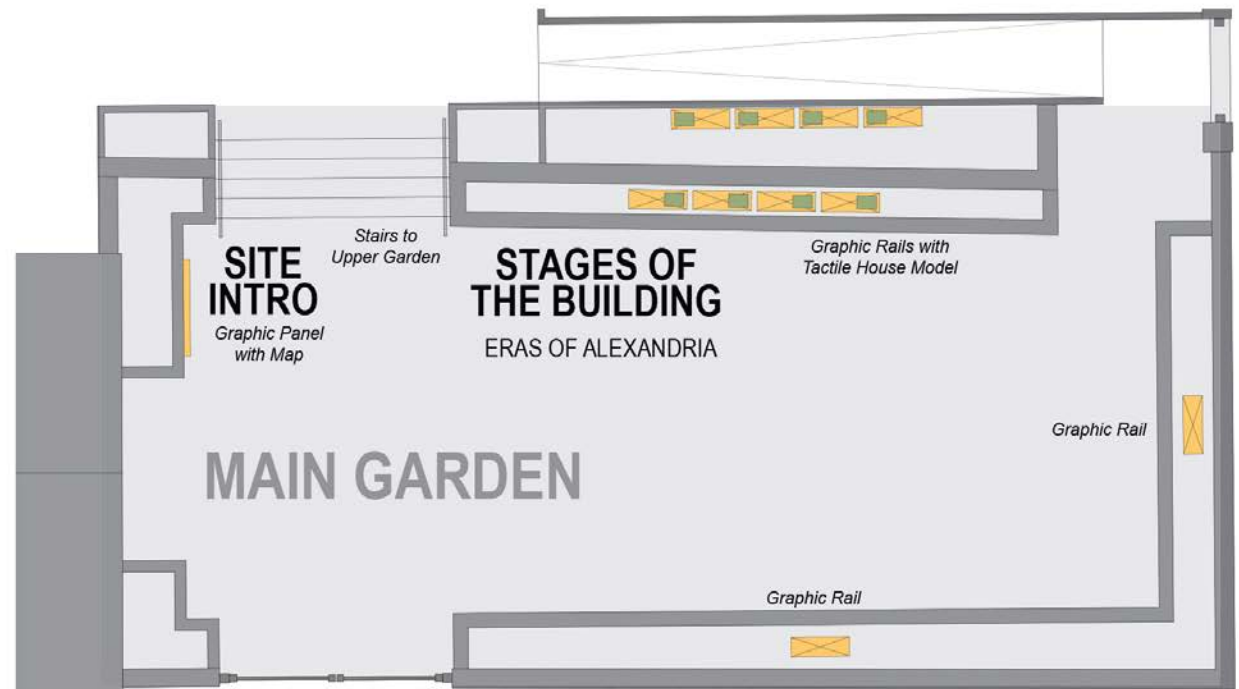
Visitors will arrive at the Murray-Dick-Fawcett House and be presented to the oldest residential building in Alexandria, which has been modernized over the last 250 years. They will be prompted to Visitor Services, where they will choose between a guided or self-guided experience of the Gardens and House. With the addition of a directional sign program and interpretive graphics, visitors will be orientated around the gardens and grounds before heading into the historic home.



EXTERIOR AREA PLAN

Main Garden

The Main Garden level immediately introduces the site and house to visitors with welcome and interpretive panels. The interpretation of the early eras of the House and the City of Alexandria will engage visitors with tactile activities relating to the original and renovations to the residences during Alexandria's colonial years. The tactile models of the house will reinforce the different eras of the house and how it expanded over time, providing historical context for those physical changes.

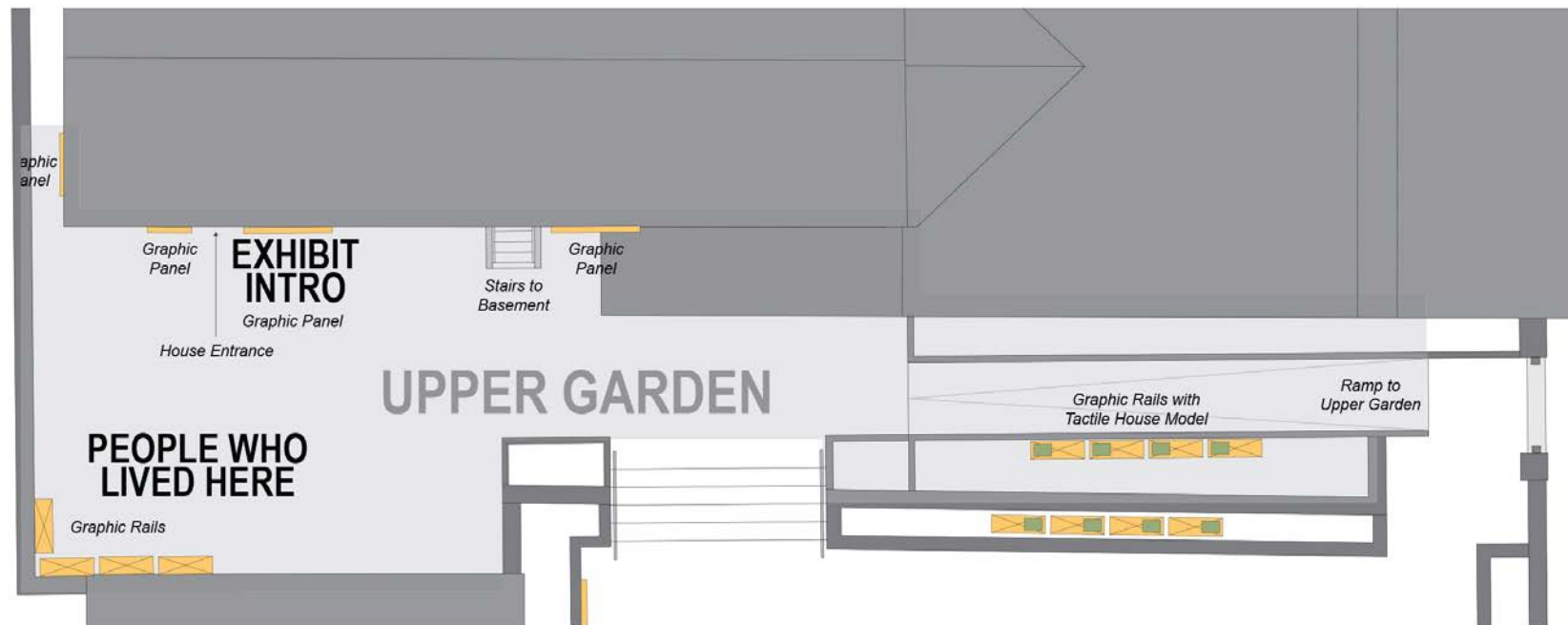


EXTERIOR AREA PLAN

Upper Garden

As visitors proceed up the ramp towards the house's entrance, they continue the journey of the house's evolution through the house's final eras as we know it today. On the upper level of the Garden, additional interpretation of the people who lived in the house and their relationship to the city's history and vitality.

An introductory and interpretive panel welcomes the visitor to the exhibit experience inside the house prompting them to purchase an admission ticket. Additional interpretive rails begin to introduce the workings and functions of the household at the entrances to the three privies.



COMPONENT 8 - INTERIOR EXHIBITS

- A. Summary Description: Work included in this scope will include all exterior interpretation and exhibitions components.
- B. Estimating Scope: Estimates for this scope will be prepared and provided by the exhibit designer and will be excluded from the cost estimate.

OVERALL EXHIBIT EXPERIENCE

Interior

The exhibition experience inside the house will include traditional interpretive spaces, immersive experiential spaces, and explorative and engagement spaces. These techniques and approaches aim to fully engage the visitor's senses and emotions in this authentic environment.

Presenting the dynamic stories of the people who lived, worked, and prospered in the house, the City of Alexandria that developed as the house, and the architectural details and preservation that confirm this unique story.



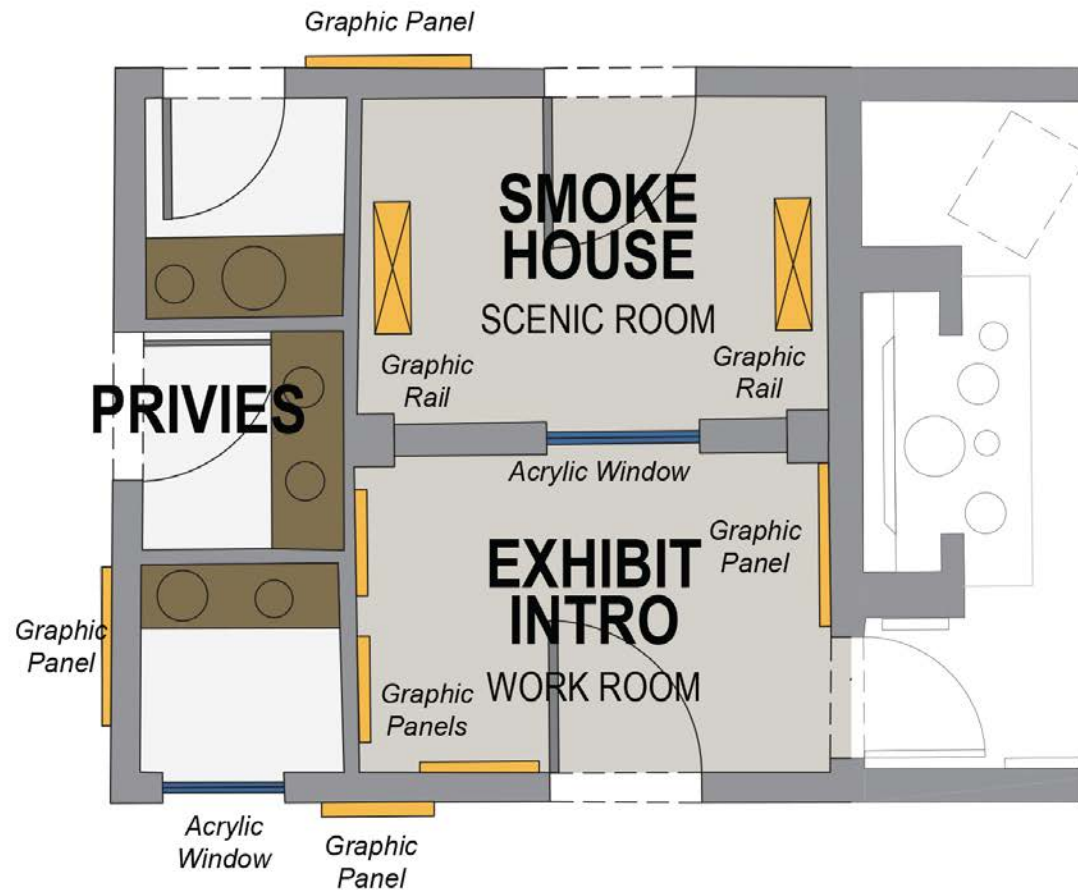
INTERIOR AREA PLAN

Privies, Entrance & Smoke House

The exhibit interpretation begins on the exterior at the entrance to the three Privies. Visitors will learn about the house's connection to the neighboring areas of the city.

As visitors enter the Work Room, the introductory area, they'll gain additional context about their upcoming journey through the house.

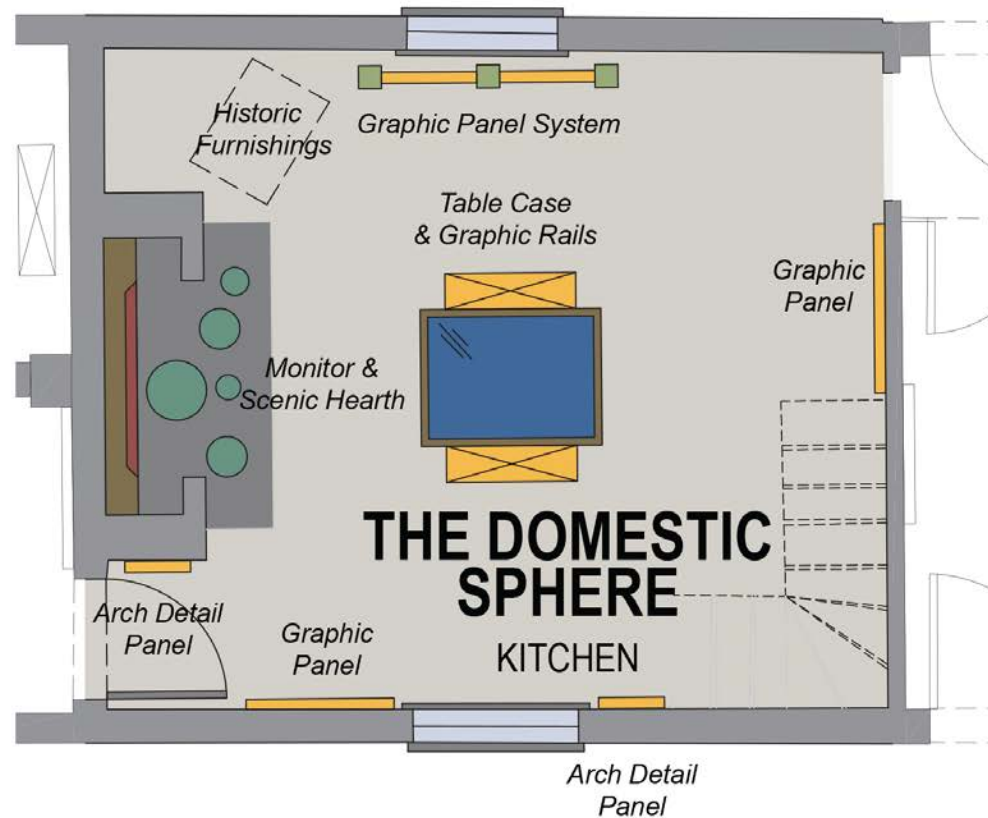
Beyond the glass window, visitors can view a scenic recreation of the Smoke House with hanging meats and stores of food.



INTERIOR AREA PLAN

Kitchen

The kitchen is the heart of any home. The historic Murray-Dick-Fawcett House is no exception. It is in this room that there the visitor will be able to become immersed in how the kitchen area was used and the people that worked in the house. The scenic treatments will include a recreated cooking hearth as well as exploring the stories of the domestic workers.



INTERIOR AREA PLAN

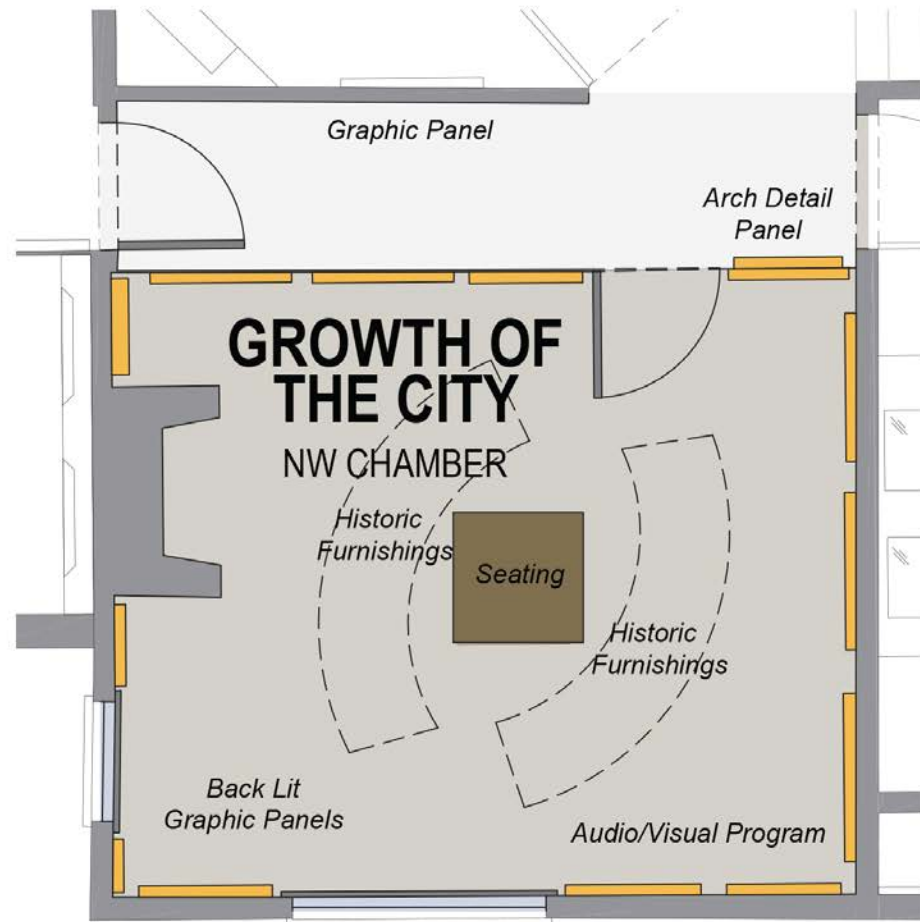
Lobby

The Lobby provides the most accessible area in the entire house for guests. The space can be accessed from both the inside of the home as well as a secondary entrance from the outside. A map-based interactive of the house provides an overview and accessible information as visitors explore the entire exhibit experience within the house virtually.



INTERIOR AREA PLAN NW Chamber

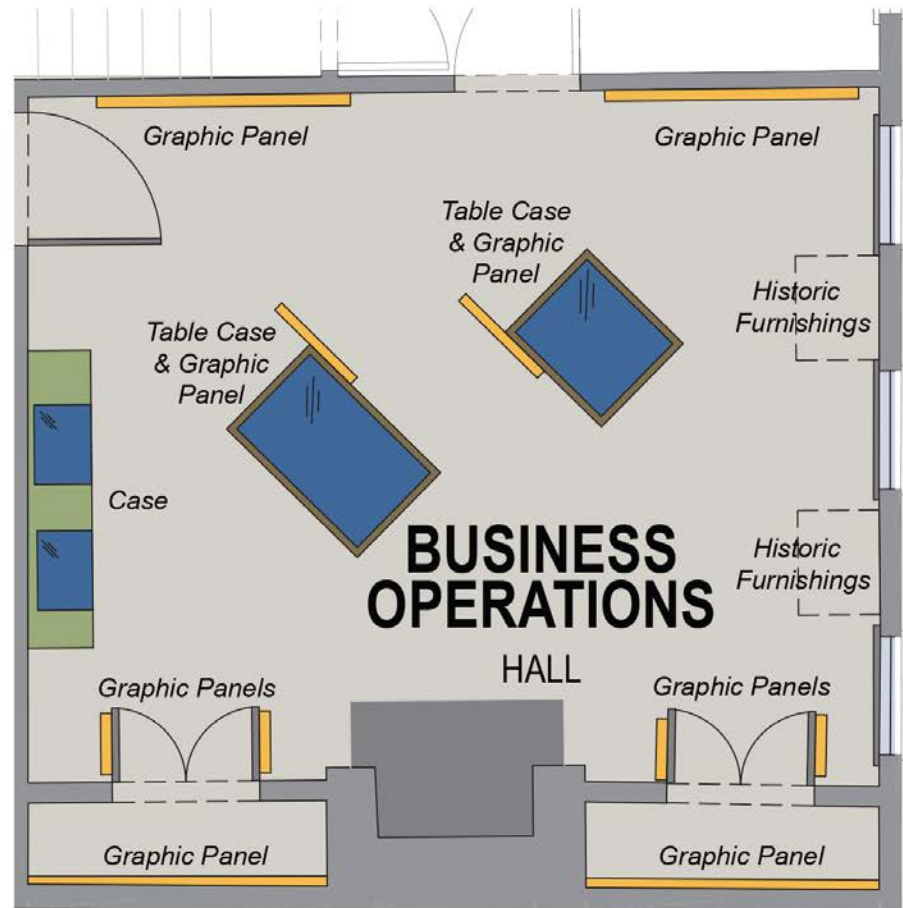
In the Northwest Chamber, the visitor will be invited to comfortably sit and experience an immersive audio and visual experience presenting the complex stories of the growth of the City through the daily sights and sounds of its neighborhoods over time.



INTERIOR AREA PLAN

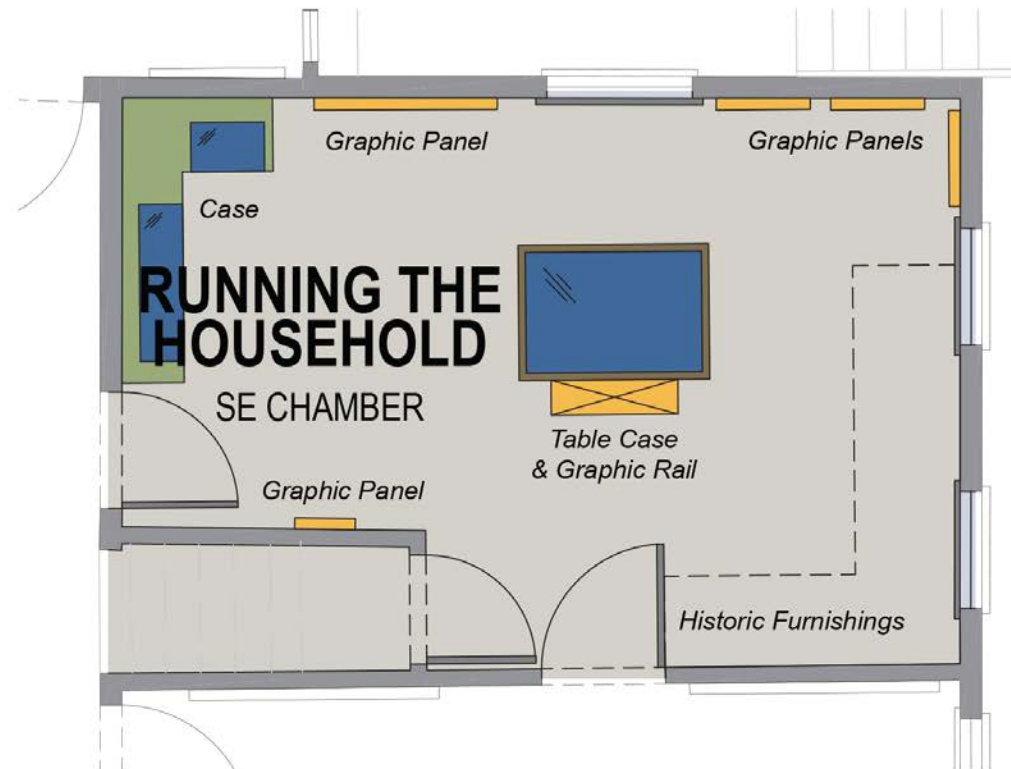
Hall

As visitors proceed into the next room of the house, they will discover the stories of the business operations that the house represents. This exhibition is a more classic exhibit experience with collections and display cases and graphic interpretation of the businesses and companies that operated on the site and the surrounding areas of the city's wharf.



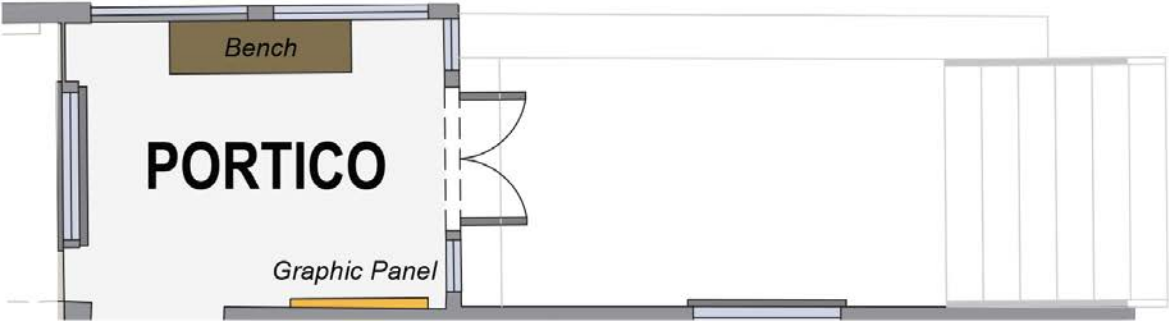
INTERIOR AREA PLAN SE Chamber

In the Southeast Chamber, the exhibit interpretation will provide visitors insight into the daily complexities and skill it took to run a unique household such as Murray-Dick-Fawcett House. This historic house represents a staunchly middle-class home with both tenants, renters, family members, and the enslaved.



INTERIOR AREA PLAN
Portico

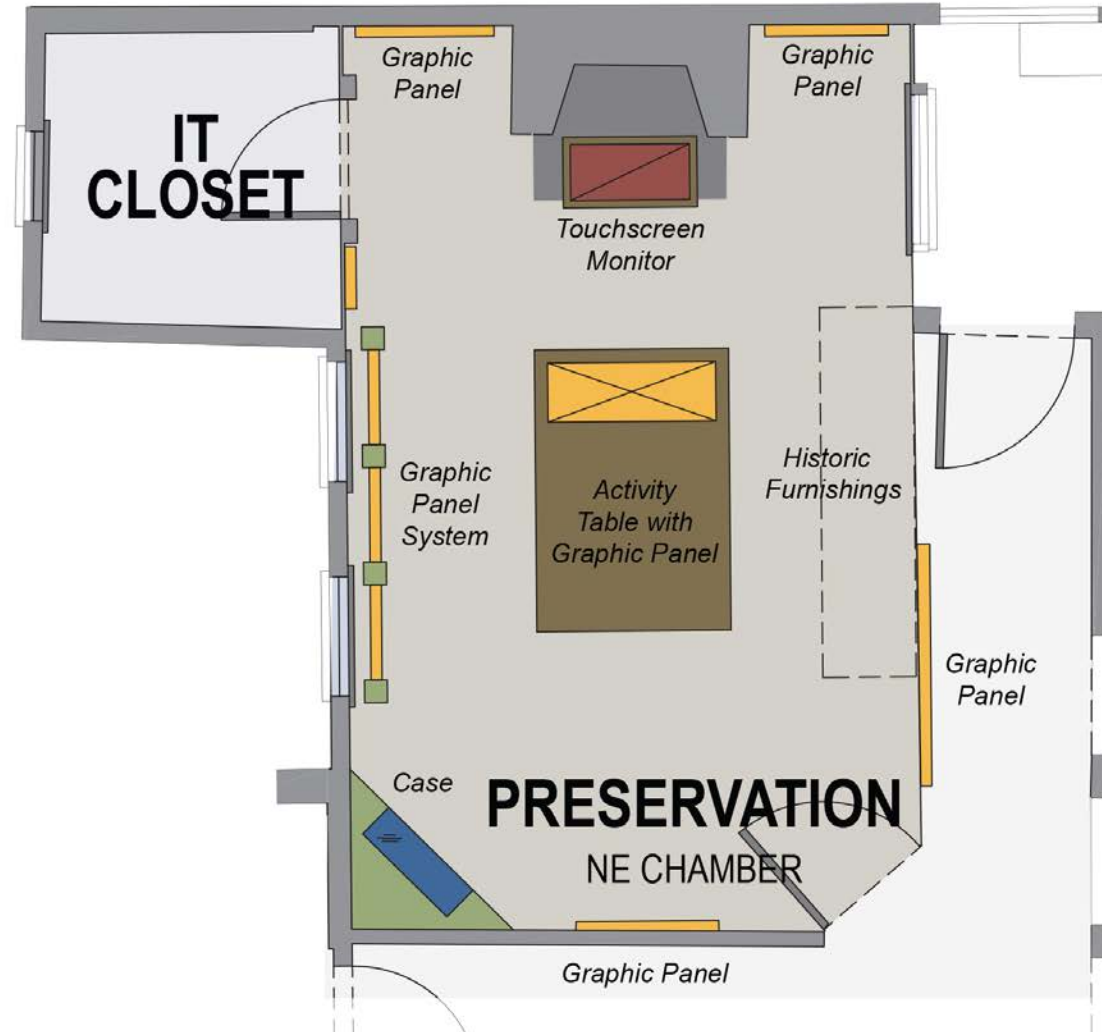
The Portico provides a unique and intimate view of the home. It is an open-air foyer used as the main entrance of the house to those who lived there throughout the various eras.



INTERIOR AREA PLAN NE Chamber

The last area in the home is dedicated to the preservation efforts of the recent owner of the property, the City of Alexandria. Visitors will be presented with information regarding how the home has been preserved and restored to be historically accurate. Visitors will be invited to explore the ideas and methods of preservation and engage in hands-on activities illustrating the techniques of construction and renovating historic structures.

The interpretation will also include other historic properties that are owned and managed by the City. Visitors will have access to information to visit these nearby similar sites.



COMPONENT 9 - INTERIOR REPAIRS - BASEMENT (CELLAR)

A. Summary Description:

Work in the basement will be limited to Historic Structure Report described repairs and some basic improvements to allow for an occasional specialty guided tour of the space. Work will include creating appropriate floor surfacing for pathways and handrails for occasional tours. The proposed scope of work in this area will include the following:

- a. Floor Surfacing: Construct 1:20 slope wood ramps at locations of floor height transitions.
- b. Handrails/Barriers: Construct metal handrails as required at stairs to access basement.
- c. Historic Structure Report Scope Included: Complete all basement floor interior repairs (Priority 1, 2 & 3)

B. Materials Description for Change:

- a. Interior Materials
 - i. Ramps: Ramps or floor transition surfacing shall be wood construction, wood framing members and finish plywood surfacing using treated wood, approved for ground contact.
 - ii. Handrails: Handrails at stairs and ramp locations shall have removable metal handrails secured to stairs or ramps (not masonry).

C. Systems Requirements

- a. Electrical Restoration Scope:
 - i. Provide new lighting systems in the basement.



HABS Photo, 1936

COMPONENT 10 - INTERIOR REPAIRS - SECOND FLOOR

A. Summary Description:

Work on the second floor is limited to Historic Structure Report described restoration and repairs and some limited improvement to allow for occasional specialty guided tours of the space. The proposed scope of work in this area will include the following:

- a. Remove the existing bathroom partitions and restore the East Room to its original configuration.
- b. Historic Structure Report Scope Included: Complete all second floor interior repairs (Priority 1, 2 & 3).

B. Materials Description for Change:

- a. Interior Materials: Materials for restoration shall match existing interior finish materials.

C. Systems Requirements:

- a. Provide new lighting systems in the basement.



HABS Photo, 1936

Murray-Dick-Fawcett House





COST ESTIMATE SUMMARY

The project scopes are identified as follows:

PROJECT AREA	DESCRIPTION	EST. COST
a. Component I	Exterior Renovations	\$482,581
b. Component II	West Garden Upgrades	\$466,588
c. Component III	Garage Upgrades	\$365,757
d. Component IV	Kitchen Removal / Repair / East Garden	\$499,113
e. Component V	Garden Wall/Alley/Privies	\$173,687
f. Component VI	Interior Repairs First Floor	\$504,241
g. Component VII	Exterior Exhibits	\$260,919
h. Component	Interior Exhibits	\$1,010,737
i. Component IX	Interior Repairs – Basement	\$320,150
j. Component X	Interior Repairs – Second Floor	\$252,250

Note: Listed estimates are project construction costs and do not include project soft costs such as architectural/engineering design fees, professional services fees, City project costs, contingencies, etc.



NE Chamber

PHASING OPPORTUNITIES

Phasing offers an approach to transform a property over time. Sometimes this approach is driven by funding. But, with museum properties, there also may need to be time layered in between phases to transition the property to its new function more gradually or for further interpretation and programming to be developed. There are several potential phasing approaches that can be applied to the property if the funding requires a phased implementation of the proposed recommendations in this plan. The potential options include the following approaches:

1. Full Build Out
2. Begin with Exterior / Grounds Interpretation
3. Begin with Interior Interpretation

As with any planning process there are pros and cons to each approach. Each of these options is discussed further below.

Option I – Full Build Out

The implementation of this plan through the full property in a single effort is the largest and most expensive potential undertaking. However, it achieves the goals of the comprehensive plan in the shortest time frame with the least potential disruption to future operations. Within this plan some of the smaller more stand-alone parts of the plan could still be delayed. Examples of this may be Component IV or V, which have enough physical separation to make them feasible as separate projects. The projected project costs, in current dollars for this work, based on the estimates received would break-down as follows:

Construction	\$4,336,023
City Project Costs (35%)	\$1,517,608
Contingency (15%)	\$878,045
Total	\$6,731,676
Optional Reduction of Component IV & V:	(\$775,000)

Advantages: The advantage of this approach is that most or all of the project is achieved in a single effort. If completed prior to the property being open to the public, there would be minimal disturbance to operations, and all of the necessary infrastructure to operations could be achieved prior to opening the space to broader public use and interpretation. In addition, as with any project, cost escalation factors over time escalate the expense for portions of the work that are built at a later date. Construction management costs are also duplicated over time when projects are sub-divided into phases. From this standpoint, the full build out project approach would likely be the lowest total project cost approach.

Disadvantages: While the costs are lower in aggregate, the total amount of funding for the build out will be required in the most accelerated timeline. This option will require more expedited decision making about all aspects of the interpretation, necessitating a more substantial staff commitment from the City during the period of project development than a phased approach. Once full operations begin, additional operational staffing requirements may be greater than in a phased implementation.

Option II – Begin with Exterior/Grounds

Within the comprehensive plan the grounds offer options for both interpretation and event planning and revenue potential. Planning for the grounds upgrades to occur early in the process may offer the quickest approach to getting the facility available for public use at the lowest initial cost. An approach which focuses on the redevelopment of the exterior grounds first presents a phased approach with two or three distinct phases. These phases would be the following potential sequences:

Project One: Grounds Upgrades (to include: Components I, II, III, and VII)

Project Two: Interior Upgrades and Exhibits (to include: Components VI, VIII, IX, X)

Project Three: East Garden, Kitchen Removal and Wall/Alley (to include: Components: IV and V)

In this scenario, Project Two and Three may be combined in a single phase. But, it would be likely if the Project I is completed on the exterior, the second project would need the East Garden for staging, to minimize disruption to completed work in Project I and operations of the Project I spaces during the installation. The projected project costs, in current dollars for this work, based on the estimates received would break-down as follows:

	<u>Project One</u>	<u>Project Two</u>	<u>Project Three</u>
Construction	\$1,575,845	\$2,087,378	\$672,800
Escalation	\$0	\$452,237	\$212,559
City Project Costs (35%)	\$551,545	\$888,865	\$309,875
Contingency (15%)	\$319,109	\$514,272	\$179,285
Total	\$2,446,499	\$3,942,752	\$1,374,519

(Note: Costs assume a five year span between Project One and Two and a Three Year Span to Project Three).

Advantages: The advantage of this approach is that the exterior grounds could be opened while further development of the interior interpretation is underway. While it would be missing exhibit and interpretive elements, once the exterior garden and support facilities planned for the garage are operational, some tours could still be planned in the house without all of the planned modifications. This approach allows for a more distributed project cost over a period of years if needed.

Disadvantages: The obvious disadvantage to this approach is that the work on the interior of the house is deferred and without measures fully in place for tours and interpretation, the use of this space will need to be more limited. In addition, the sequencing may add some unaccounted logistical expense, because when the interior work is undertaken the functional working space is more limited on the site.

Option III – Begin with Interior Interpretation

This is likely the most complex phasing option because there are several paths this approach might take. Renovating the interior would be logistically simplified with the West Garden available as a staging space. However, operating an updated interior interpretive experience still requires the access and support spaces that are part of the Garage and some of the West Garden improvements. In this scenario, some limited parts of the West Garden upgrades (Component II) and most of the Garage (Component III) will still need to be included in the initial project phase, because some level of accessibility and the visitor support facilities in the garage will be needed to operate the site. In this case these phases would be the following potential sequences:

Project One: Interior Upgrades and Exhibits (to include: Components VI, VIII, IX, X and Component III, Component II - Partial)

Project Two: East Garden, Kitchen Removal and Wall/Alley (to include: Components: IV and V)

Project Three: Grounds Upgrades (to include: Components I, II - Partial, and VII)

In this case, Project Two and Three could alternate sequence for implementation. The projected project costs, in current dollars for this work, based on the estimates received would break-down as follows:

	<u>Project One</u>	<u>Project Two</u>	<u>Project Three</u>
Construction	\$2,686,135	\$672,800	\$977,088
Escalation	\$0	\$145,764	\$360,125
City Project Costs (35%)	\$940,147	\$286,497	\$468,025
Contingency (15%)	\$543,942	\$165,759	\$270,786
Total	\$4,170,224	\$1,270,820	\$2,076,024

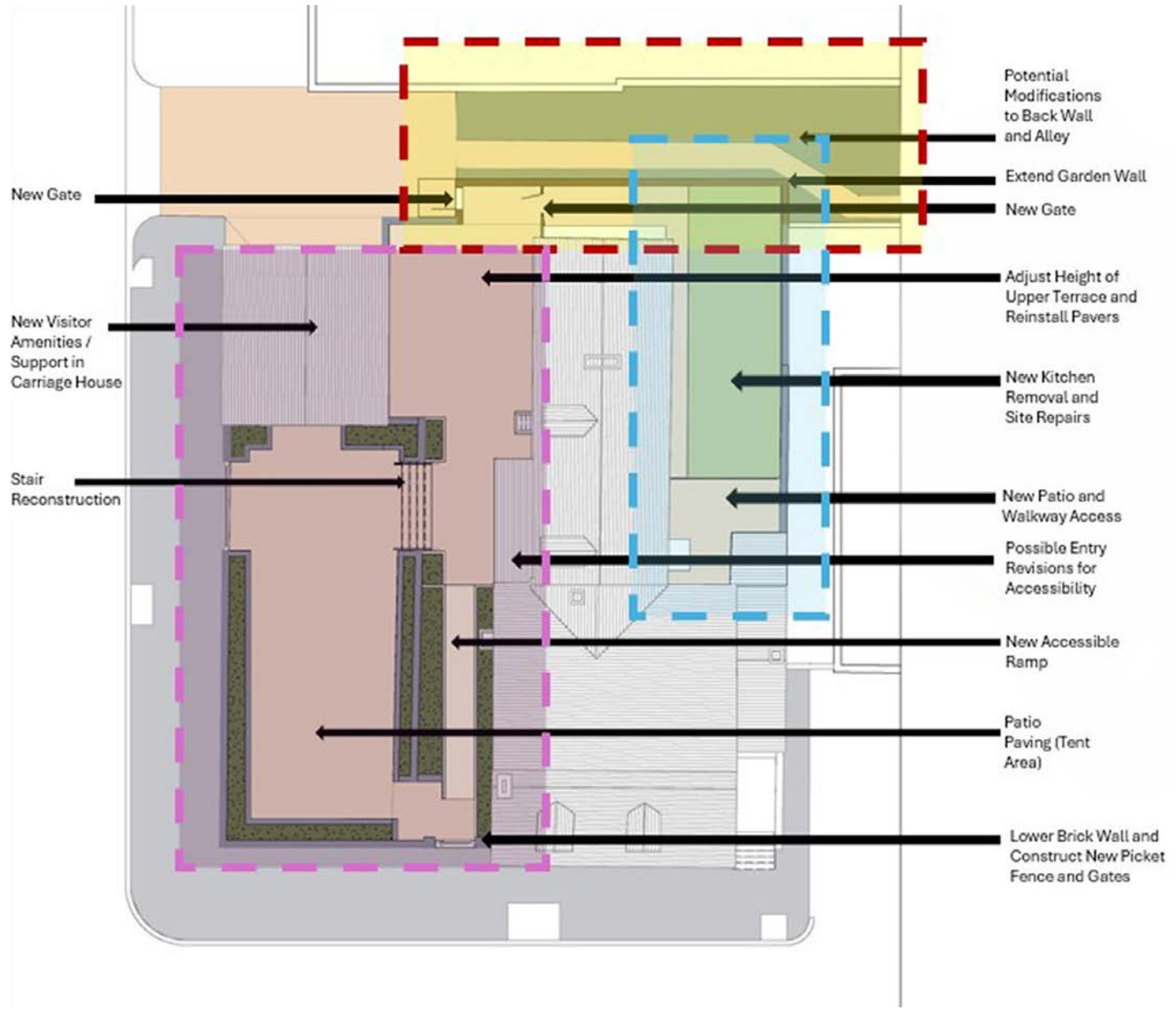
(Note: Costs assume a five year span between Project One and Two and a Three Year Span to Project Three).

Advantages: The advantage of this approach is to complete the work on the house earlier in the process, which will allow the City to address needed work stemming from the Historic Structures Report earlier in the process. The house itself is the primary resource and focus, so jumping into this work more immediately will get this resource fully available to the public as soon as feasible. Like Option II, this approach allows project costs to be distributed over time. This approach also allows Project II and Project III to be somewhat interchangeable or combined. Specifically, while the West Garden improvements are desirable, with added interpretation, these portions of that component are not fully necessary to be completed in order for the site to operate as planned.

Disadvantages: The disadvantage of this approach is that the outward public appearance of the site and some of the added amenities for events and casual visitors to the site would not be available until later in the sequence. This might limit the potential revenue for rentals and events in the outdoor space. This approach may also be a higher overall aggregate cost.



Kitchen



RECOMMENDATIONS

The Murray-Dick-Fawcett House is a significant addition to the collections and interpretive facilities that are operated by the City of Alexandria. As one of the oldest houses in the City, the home is remarkably intact historically with significant elements from historic periods that are lost in most homes that have been occupied over time. The opportunity to interpret stories of the complex lives of Alexandria's residents, including merchants, women, children, servants, and enslaved people are all present in this residential microcosm of life in Alexandria. The City has undertaken a structured process to carefully consider the future of this house in a new role as a site for this interpretation and for visitors to better understand this community. The Comprehensive Plan outlines a proposed approach for ongoing rehabilitations and improvements to allow for the home's anticipated interpretive role for the City.

Through the preparation of a Comprehensive Plan there have been a series of discussions, including working sessions and stakeholder meetings, to obtain input and develop concepts that are outlined in this document. The approach has been focused, but also built upon extensive scholarship from prior efforts by City staff, prior restoration efforts including the recent exterior rehabilitation work and the recent development of a Historic Structure Report for the property. All of these input streams have been considered in developing this Comprehensive Plan. Ultimately, a Comprehensive Plan outlines a proposed approach and sequence for implementation of improvements and repairs that will allow the City to achieve outlined goals for the property. Through this effort multiple approaches have been considered. As the project proceeds to implementation the following recommendations are outlined for consideration:

General Recommendations

1. Protect the Historic Fabric:

The Murray-Dick-Fawcett House has some significant features that make it very unique in an urban context. As a home that has been occupied privately through most its existence, to see features such as the privies, which remain, is remarkable. The conversion of a property to a public function for interpretation necessitates changes for access and safety, and risks some impact on the retained features of the building from its multiple historic eras of significance. The Comprehensive Plan outlines a broad approach to this interpretation and changes that will be needed for this to occur. When implementation begins, all work should continue to be done based on the Secretary of Interior Standards for Historic Preservation and any proposed modifications should be carefully evaluated to minimize impact on the retained historic fabric of this structure and its site.

2. Offer Multiple Methods of Interpretation:

One of the unique and compelling features of this property in the context of the City's museum holdings is the breadth of stories that can be told through this house, based on the myriad of persons that have lived here through its history. This provides options to tell stories of various groups of people that have lived in the city over time, such as merchants, the experiences of enslaved people in an urban dwelling, indentured servants in both a family context and commercial business, the roles of women in the home and community, and even the varying types of family/domestic groups and arrangements that have lived here over time, as just some examples. But the house is also unique for its architectural evolution, containing elements, building features, and details that are not often seen in context such as they are in this house. The complexity of approaches, potential avenues for further scholarship and understanding, and the intact features of the house suggest strongly that no single story line should dominate the interpretation. Interpretive approaches should offer a variable approach, but also allow for those interpretations to continue to develop and evolve over time.

3. Accept Existing Limitations to Create a Unique Experience:

With the historic fabric being so critically important in this house, there will be limitations to modifications that can be made, which otherwise would be desirable to allow more public access. The home requires an intimate experience for most visitors. While expanded visitation may exert pressures, preserving a focused and personal experience by limiting group size, and asking visitors to respect historic elements that cannot easily be protected from wear, will be important considerations. The configuration of the house limits accessibility for the mobility impaired, and so the City will need to be creative to provide alternate means of experience for visitors with accessibility needs through programming and other interpretation on the exterior of the house.

4. Consider a Name Change:

The Murray-Dick-Fawcett House was named for several of the resident families that lived at this property over time. It is not the only name that has been used for this house over its history. In fact, the former owners - Murray, Dick, and Fawcett – were not necessarily the longest owners through history or the individuals that most altered and impacted the home's evolution to its current configuration. The concept of a name change was raised by stakeholders during this process, with apparent support to consider alternatives that may be more impactful and representative of the identity of this property. Such a consideration would need to be carefully undertaken with ongoing community input, but might serve to both better represent the history of this home and speak to its role and importance in the city.

5. Allow for Ongoing Interpretation and Scholarship:

Much has been learned about this home through its history and the work completed to date by past residents, scholars, and the City of Alexandria staff. However, as with all historic structures, there remain unknowns and historical context yet to be fully analyzed. Any approach should provide for the opportunity of ongoing interpretation and scholarship and to allow for the interpretation to be changed to reflect new discoveries that may be revealed through further scholarship. The exhibit components themselves should be placed lightly, where they may be removed without disturbing the historic fabric, but also where they may be modified regularly to continue to expand the interpretation.

General Recommendations

1. Phasing:

Each of the outlined phasing options in this plan represent a viable approach for consideration based on factors still be determined to by the City. In general, two overall recommendations to implementation should be considered. First, the modification and implementation should not be too hurried. While an all at once approach may be desirable for context, allowing time in the process for additional research, to learn the patterns of visitor experience and expectation in this very unique (and limited) context and to properly care for and protect the historic elements may require a more regimented and paced implementation than the typical project. Second, any adopted phasing plan should not exceed three primary phases. Greater than this, especially at this scale, the plan risks departing from the original intent and/or failure to complete the full vision. Because the experience and site usage will evolve over time, if the process extends too long, the initial efforts may be due for further modification and upgrade before later phases are implemented.

2. Exhibit Development / Interpretation:

While the exhibit elements and interpretation are desirable features of this plan and its ultimate interpretation, these elements may be phased in their development and interpretation through the spaces. Because of the compact nature and limited access issues associated with the house, it may be advisable to test approaches and methodology for interpretation before a full-scale implementation. This would allow for the exhibit elements to become more customized to the unique features of this property.

3. Restoration Work:

This Comprehensive Plan, in addition to the modifications needed for public access and exhibits/interpretation, incorporates the project costs of restoration and repairs that were outlined in the 2024 Historic Structure Report. While some of these restoration elements are not specific to the interpretive scope and needs associated with public access, it would be advisable to achieve as much of the interior restoration outlined in the HSR as feasible, prior to opening the home to regular public access. Even if the interpretation and implementation of exhibits in some of the interior spaces are phased, completing the HSR recommended rehabilitation scope in a comprehensive, single project will be better for the house, its preservation, and long term use as an interpreted museum facility. While any historic property will require continued work and maintenance over time, this approach will limit future disruptions to operations that may occur if a more phased implementation of rehabilitation scope is undertaken.

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Murray-Dick-Fawcett House





DETAIL COST ESTIMATE

CCS International, Inc.
 Project: Murray-Dick-Fawcett Historical Structure

Bethesda, Maryland
 9/6/2024

CONSTRUCTION PROJECT COST SUMMARY

OPTION	CONSTRUCTION COST	OPTION	CONSTRUCTION COST
COMPONENT 1		COMPONENT 2	
	Construction Cost		Construction Cost
Direct Cost Site	\$299,949	Direct Cost Site	\$290,008
Total Direct Cost	\$299,949	Total Direct Cost	\$290,008
General Conditions	\$35,994	General Conditions	\$34,801
Profit	\$29,995	Profit	\$29,001
Design Contingency	\$59,990	Design Contingency	\$58,002
Insurance & Bonding	\$4,949	Insurance & Bonding	\$4,785
Escalation	\$51,705	Escalation	\$49,992
Markup Total	\$182,633	Markup Total	\$176,580
Total Construction Cost (Less FF&E)	\$482,581	Total Construction Cost (Less FF&E)	\$466,588
COMPONENT 3		COMPONENT 4	
	Construction Cost		Construction Cost
Direct Cost Site	\$227,337	Direct Cost Site	\$310,224
Total Direct Cost	\$227,337	Total Direct Cost	\$310,224
General Conditions	\$27,280	General Conditions	\$37,227
Profit	\$22,734	Profit	\$31,022
Design Contingency	\$45,467	Design Contingency	\$62,045
Insurance & Bonding	\$3,751	Insurance & Bonding	\$5,119
Escalation	\$39,188	Escalation	\$53,476
Markup Total	\$138,421	Markup Total	\$188,889
Total Construction Cost (Less FF&E)	\$365,757	Total Construction Cost (Less FF&E)	\$499,113

CONSTRUCTION PROJECT COST SUMMARY

OPTION	CONSTRUCTION COST	OPTION	CONSTRUCTION COST
COMPONENT 5		COMPONENT 6	
	Construction Cost		Construction Cost
Direct Cost Site	\$107,956	Direct Cost Site	\$313,411
Total Direct Cost	\$107,956	Total Direct Cost	\$313,411
General Conditions	\$12,955	General Conditions	\$37,809
Profit	\$10,796	Profit	\$31,341
Design Contingency	\$21,591	Design Contingency	\$62,682
Insurance & Bonding	\$1,781	Insurance & Bonding	\$5,171
Escalation	\$18,609	Escalation	\$54,026
Markup Total	\$65,732	Markup Total	\$190,830
Total Construction Cost (Less FF&E)	\$173,687	Total Construction Cost (Less FF&E)	\$504,241
COMPONENT 9		COMPONENT 10	
	Construction Cost		Construction Cost
Direct Cost Site	\$198,990	Direct Cost Site	\$156,786
Total Direct Cost	\$198,990	Total Direct Cost	\$156,786
General Conditions	\$23,879	General Conditions	\$18,814
Profit	\$19,899	Profit	\$15,679
Design Contingency	\$39,798	Design Contingency	\$31,357
Insurance & Bonding	\$3,283	Insurance & Bonding	\$2,587
Escalation	\$34,302	Escalation	\$27,027
Markup Total	\$121,161	Markup Total	\$95,464
Total Construction Cost (Less FF&E)	\$320,150	Total Construction Cost (Less FF&E)	\$252,250

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 1

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$122,807.50	\$197,260.75
**** 02 - SUBSTRUCTURE	\$11,900.00	\$19,145.67
**** 03 - SUPERSTRUCTURE	\$14,278.00	\$22,971.59
**** 04 - EXTERIOR CLOSURE	\$23,810.00	\$38,307.43
**** 05 - THERMAL AND MOISTURE PROTECTION	\$13,430.00	\$21,607.26
**** 06 - INTERIOR CONSTRUCTION	\$29,185.00	\$46,955.16
**** 11 - ELECTRIC POWER AND LIGHTING	\$57,238.00	\$92,089.07
**** 12 - SITE IMPROVEMENTS	\$27,500.00	\$44,244.20
Building & Site Total	\$299,948.50	\$482,581.14
===== SUMMARY =====		
General Conditions - 12%		\$35,993.82
Profit - 10%		\$29,994.85
Design Contingency - 20%		\$59,989.70
Insurance & Bonding - 1.65%		\$4,949.15
Escalation per Year - 8%		\$51,705.12
		\$182,632.64
ESTIMATE TOTAL		\$482,581.14

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 1

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	4	Mo.	\$1,600.00	\$6,400.00
Dumpster Rental	4	Mo.	\$1,245.00	\$4,980.00
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	3	Mo.	\$14,889.00	\$37,222.50
Superintendent	4	Mo.	\$12,320.00	\$49,280.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	4	Mo.	\$1,500.00	\$6,000.00
Structural Testing	1	Mo.	\$1,250.00	\$1,250.00
Temporary Porta Toilet	4	Mo.	\$500.00	\$2,000.00
Trade Permits & Fees	1	LSUM	\$425.00	\$425.00
Pedestrian Control Measures	1	LSUM	\$1,500.00	\$1,500.00
				\$122,607.50
Total *** 01 - GENERAL REQUIREMENTS				\$122,607.50
 *** 02 - SUBSTRUCTURE				
<i>Building</i>				
Rm 002 - Make structural repairs. Follow directions of structural engineer to reinforce and repair any cracks, support the floor joists, and ameliorate other structural issues. Preserve the evidence in the framing of the former corner chimney.	1	LS	\$11,900.00	\$11,900.00
				\$11,900.00
Total *** 02 - SUBSTRUCTURE				\$11,900.00
 *** 03 - SUPERSTRUCTURE				
1797 cellar - Enlarge the basement entry on the west side to improve access to cellar.	1	LS	\$14,278.00	\$14,278.00
				\$14,278.00
Total *** 03 - SUPERSTRUCTURE				\$14,278.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 1

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 04 -EXTERIOR CLOSURE				
Rms 116, 117 & 188 - Stabilize single-wythe internal brick partitions by repairing and rebuilding damaged sections. Shore up and stabilize the north exterior wall.	1	LS	\$8,810.00	\$8,810.00
1797 Upper Floor - The dormer sash stops may need to be completed to prevent moisture infiltration.	1	LS	\$1,475.00	\$1,475.00
Based on the period of interpretation, consider restoration of the siding and window as shown in the 1980s photo.	1	LS	\$7,945.00	\$7,945.00
The remaining shutters should be repaired or rebuilt and installed in historic locations, including on the south dormers.	1	LS	\$5,580.00	\$5,580.00
				<u>\$23,810.00</u>
Total **** 04 -EXTERIOR CLOSURE				\$23,810.00
*** 05 - THERMAL AND MOISTURE PROTECTION				
Misc. General Caulking & Damp-proofing	1	LS	\$4,500.00	\$4,500.00
Rebuild the roof over the 1816 storeroom (Room 108).	1	LS	\$8,930.00	\$8,930.00
				<u>\$13,430.00</u>
Total **** 05 - THERMAL AND MOISTURE PROTECTION				\$13,430.00
*** 06 - INTERIOR CONSTRUCTION				
<u>Installation of new door hardware and door refurbishment or replacement as required to be able to fully secure the house.</u>				
RM 114 - Single	1	EACH	\$3,250.00	\$3,250.00
RM 115 - Single	1	EACH	\$3,250.00	\$3,250.00
RM 116 - Single	1	EACH	\$3,250.00	\$3,250.00
RM 117 - Single	1	EACH	\$3,250.00	\$3,250.00
RM 111 - Single	1	EACH	\$3,250.00	\$3,250.00
RM 100 - Double	1	EACH	\$6,745.00	\$6,745.00
RM 120 - Double	1	EACH	\$6,190.00	\$6,190.00
				<u>\$29,185.00</u>
Total **** 06 - INTERIOR CONSTRUCTION				\$29,185.00
*** 11 - ELECTRIC POWER, LIGHTING AND SECURITY				
A01 - Base Estimate **** 11 - Electrical **** 11310 - Fire Alarm				
New Fire Alarm System	1	EACH	\$33,438.00	\$33,438.00
				<u>\$33,438.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11410 - Security				
New Security System	1	EACH	\$23,800.00	\$23,800.00
				<u>\$23,800.00</u>

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 1

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$57,238.00
*** 12 - SITE IMPROVEMENTS				
*** 12 00 00 - Exterior Improvements **** 12 50 00 - Site Preparation				
Excavate the well and reinforce the top for safe and historically appropriate interpretation.	1	LS	\$6,500.00	\$6,500.00
Re-grade- Rough /Fine Grading & Stabilize As Needed	1	LS	\$3,500.00	\$3,500.00
				<u>\$10,000.00</u>
Construction Entrance, Erosion & Sediment Control Devices				
Construction Laydown Area w/Temp Fencing	1	LS	\$5,500.00	\$5,500.00
Erosion Control Devices - Allowance	1	LS	\$3,500.00	\$3,500.00
				<u>\$9,000.00</u>
*** 12 00 00 - Exterior Improvements **** 12 80 00 - Landscaping				
Allowance For Landscaping Replacement	1	LS	\$8,500.00	\$8,500.00
				<u>\$8,500.00</u>
Total **** 12 - SITE IMPROVEMENTS				\$27,500.00
TOTAL PROJECT DIRECT COST				\$270,763.50

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 2

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$132,328.00	\$212,899.87
**** 11 - ELECTRIC POWER AND LIGHTING	\$35,248.50	\$56,710.61
**** 12 - SITE IMPROVEMENTS	\$122,431.40	\$196,977.43
Building & Site Total	\$290,007.90	\$466,587.91
==== SUMMARY =====		
General Conditions - 12%		\$34,800.95
Profit - 10%		\$29,000.79
Design Contingency - 20%		\$58,001.58
Insurance & Bonding - 1.65%		\$4,785.13
Escalation per Year - 8%		\$49,991.56
		<u>\$176,580.01</u>
ESTIMATE TOTAL		\$466,587.91

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 2

9/8/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	5	Mo.	\$1,600.00	\$8,000.00
Dumpster Rental	5	Mo.	\$1,245.00	\$6,225.00
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	2	Mo.	\$14,889.00	\$29,778.00
Superintendent	5	Mo.	\$12,320.00	\$61,600.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	5	Mo.	\$1,500.00	\$7,500.00
Structural Testing	1	Mo.	\$1,250.00	\$1,250.00
Temporary Porta Toilet	5	Mo.	\$500.00	\$2,500.00
Trade Permits & Fees	1	LSUM	\$425.00	\$425.00
Pedestrian Control Measures	1	LSUM	\$1,500.00	\$1,500.00
				<u>\$132,328.00</u>
Total **** 01 - GENERAL REQUIREMENTS				\$132,328.00
*** 11 - ELECTRIC POWER AND LIGHTING				
A01 - Base Estimate **** 11 - Electrical **** 11110 - Service & Distribution				
New Outdoor Electrical Connections For Events	1,865	SF	\$3.20	\$5,968.00
				<u>\$5,968.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11210 - Lighting				
New Outdoor Lighting & Controls For Events	1,865	SF	\$15.70	\$29,280.50
				<u>\$29,280.50</u>
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$35,248.50

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 2

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 12 - SITE IMPROVEMENTS				
*** 12 00 00 - Exterior Improvements **** 12 50 00 - Site Preparation				
Construction Entrance, Erosion & Sediment Control Devices				
Construction Laydown Area w/Temp Fencing	1	LS	\$5,500.00	\$5,500.00
Erosion Control Devices - Allowance	1	LS	\$3,500.00	\$3,500.00
				<u>\$9,000.00</u>
*** 12 00 00 - Exterior Improvements **** 12 40 00 - Terrace, Walls & Hardscape				
<u>Carriage House Side Entry</u>				
Remove Existing stairs & Infill w/Pavement Flush To Upper Terrace	1	LS	\$3,940.00	\$3,940.00
				<u>\$3,940.00</u>
<u>Event Area</u>				
Patio Paving - Convert Existing Lawn To New Masonry Paver Surface	1,136	SF	\$27.40	\$31,126.40
				<u>\$31,126.40</u>
<u>New Accessible Ramp</u>				
New 4' Wide Accessible Ramp w/Hand Railing	29	LF	\$214.00	\$6,206.00
				<u>\$6,206.00</u>
<u>Site Wall/Gates</u>				
New Gates	2	EACH	\$832.00	\$1,664.00
Wall Lowered to 2'-0" w/Brick Cap & Wood Picket Fence on Top	1	LS	\$22,500.00	\$22,500.00
				<u>\$24,164.00</u>
<u>Stairs</u>				
Reconstruct 4-5 Riser Masonry Stairs w/ Decorative Handrails	12	LF	\$335.00	\$4,020.00
				<u>\$4,020.00</u>
<u>Upper Terrace</u>				
Raise Upper Terrace and Remove & Reinstall Patio Pavers	760	SF	\$35.00	\$26,600.00
Remove Wood Deck of West Porch	1	LS	\$2,500.00	\$2,500.00
Temporary Shore West Porch	1	LS	\$2,870.00	\$2,870.00
Reinstall Existing Columns of West Porch	1	LS	\$2,345.00	\$2,345.00
				<u>\$34,315.00</u>
*** 12 00 00 - Exterior Improvements **** 12 80 00 - Landscaping				
New landscape Beds	552	SF	\$17.50	\$9,660.00
				<u>\$9,660.00</u>
Total **** 12 - SITE IMPROVEMENTS				\$122,431.40
TOTAL PROJECT DIRECT COST				\$290,007.90

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 3

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$82,208.00	\$132,262.81
**** 04 - EXTERIOR CLOSURE	\$11,780.00	\$18,952.61
**** 05 - THERMAL AND MOISTURE PROTECTION	\$725.00	\$1,166.44
**** 06 - INTERIOR CONSTRUCTION	\$26,375.00	\$42,434.21
**** 07 - INTERIOR FINISHES	\$22,433.60	\$36,092.97
**** 08 - FIRE PROTECTION SYSTEMS	\$12,500.00	\$20,111.00
**** 09 - PLUMBING	\$48,100.00	\$77,387.13
**** 10 - HVAC	\$5,880.00	\$9,460.21
**** 11 - ELECTRIC POWER AND LIGHTING	\$17,335.00	\$27,889.93
Building & Site Total	\$227,336.60	\$365,757.31
==== SUMMARY =====		
General Conditions - 12%		\$27,280.39
Profit - 10%		\$22,733.66
Design Contingency - 20%		\$45,467.32
Insurance & Bonding - 1.65%		\$3,751.05
Escalation per Year - 8%		\$39,188.28
		<u>\$138,420.71</u>
ESTIMATE TOTAL		\$365,757.31

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 3

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	2.0	Mo.	\$1,800.00	\$3,200.00
Dumpster Rental	2.0	Mo.	\$1,245.00	\$2,490.00
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	2.0	Mo.	\$14,889.00	\$29,778.00
Superintendent	2.0	Mo.	\$12,320.00	\$24,640.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	2.0	Mo.	\$1,500.00	\$3,000.00
Structural Testing	2.0	Mo.	\$1,250.00	\$2,500.00
Temporary Porta Toilet	2.0	Mo.	\$500.00	\$1,000.00
Trade Permits & Fees	1	LSUM	\$1,200.00	\$1,200.00
Pedestrian Control Measures	1	LSUM	\$850.00	\$850.00
				<u>\$82,208.00</u>
Total **** 01 - GENERAL REQUIREMENTS				\$82,208.00
*** 04 -EXTERIOR CLOSURE				
Infil Existing Overhead Door w/New Wall & Single Pedestrian Door	1	EA	\$4,730.00	\$4,730.00
New Carriage House Double Doors	1	EA	\$5,490.00	\$5,490.00
Infil Existing Opening	3	LF	\$520.00	\$1,560.00
				<u>\$11,780.00</u>
Total **** 04 -EXTERIOR CLOSURE				\$11,780.00
*** 05 - THERMAL AND MOISTURE PROTECTION				
Misc. General Caulking & Damp-proofing	500	SF	\$1.45	\$725.00
				<u>\$725.00</u>
Total **** 05 - THERMAL AND MOISTURE PROTECTION				\$725.00
*** 06 - INTERIOR CONSTRUCTION				
Interior Prep For Renovation	500	SF	\$4.35	\$2,175.00
New Staff Reception/Tecketing Desk	1	EA	\$3,270.00	\$3,270.00
Interior Partitions Walls	118	LF	\$143.00	\$16,874.00
New Built-in Storage - 30" w	26	LF	\$156.00	\$4,056.00
				<u>\$26,375.00</u>

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 3

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
Total **** 06 - INTERIOR CONSTRUCTION				\$26,375.00
*** 07 - INTERIOR FINISHES				
Floor Area - LVT w/Patched Flooring	500	SF	\$9.60	\$4,800.00
Bathroom Wall Covering - 60" Ceramic Tile Wainscot	58	LF	\$128.20	\$7,435.60
SS Grab Bars	4	EACH	\$ 112.00	\$448.00
Soap Dispensers, Mirrors, Paper Towel Dispenser & Toilet Paper	2	EACH	\$ 750.00	\$1,500.00
Ceiling Area -GWB	500	SF	\$16.50	\$8,250.00
				<u>\$22,433.60</u>
Total **** 07 - INTERIOR FINISHES				\$22,433.60
*** 08 - FIRE PROTECTION SYSTEMS				
Fire Suppression System - Allowance	1	LS	\$12,500.00	\$12,500.00
				<u>\$12,500.00</u>
Total **** 08 - FIRE PROTECTION SYSTEMS				\$12,500.00
*** 09 - PLUMBING				
Wall Hung LAV	2	EACH	\$ 3,480.00	\$6,960.00
Water Closet	2	EACH	\$ 870.00	\$1,740.00
Fixture Rough-in	4	EACH	\$ 250.00	\$1,000.00
**** PIPING ****				
DW Piping	1	LSUM	\$10,000.00	\$10,000.00
Sanitary Waste & Vent Piping	1	LSUM	\$ 4,200.00	\$4,200.00
DW Piping Connection to Existing Line	1	LSUM	\$ 8,100.00	\$8,100.00
Waste & Vent Piping Connection to Existing Line	1	LSUM	\$ 9,000.00	\$9,000.00
Undersink EWH	2	EACH	\$ 1,300.00	\$2,600.00
Allowance for Sawcutting and Restoration of Existing Flooring	1	LSUM	\$ 2,500.00	\$2,500.00
Coordination	1	LSUM	\$ 2,000.00	\$2,000.00
				<u>\$48,100.00</u>
Total **** 09 - PLUMBING				\$48,100.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 3

9/8/2024

Description	Quantity	U/M	Unit Rate	Total
*** 10 - HVAC				
Mini-Split Unit	1	EACH	\$ 4,560.00	\$4,560.00
Refrigerant Piping and Accessories	1	EACH	\$1,200.00	\$1,200.00
Concrete Pad for ACCU	1	EACH	\$120.00	\$120.00
				<u>\$5,880.00</u>
Total ****10 - HVAC				\$5,880.00
*** 11 - ELECTRIC POWER AND LIGHTING				
A01 - Base Estimate **** 11 - Electrical **** 11110 - Service & Distribution				
New 200A Panel & Feeders	1	EACH	\$6,185.00	\$6,185.00
Outlets in Work Area	500	SF	\$3.50	\$1,750.00
				<u>\$7,935.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11310 - Telecom				
Wireless WiFi System	500	SF	\$4.80	\$2,400.00
				<u>\$2,400.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11210 - Lighting				
Recessed Lighting & Switches	500	SF	\$14.00	\$7,000.00
				<u>\$7,000.00</u>
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$17,335.00
TOTAL PROJECT DIRECT COST				\$227,336.60

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 4

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$148,891.00	\$230,225.98
**** 02 - EXISTING CONDITIONS	\$16,200.00	\$26,063.86
**** 04 - EXTERIOR CLOSURE	\$5,580.00	\$8,977.55
**** 05 - THERMAL AND MOISTURE PROTECTION	\$11,700.00	\$18,823.90
**** 06 - INTERIOR CONSTRUCTION	\$36,020.00	\$57,951.86
**** 07 - INTERIOR FINISHES	\$6,955.00	\$11,189.76
**** 08 - FIRE PROTECTION SYSTEMS	\$12,500.00	\$20,111.00
**** 09 - PLUMBING	\$4,370.00	\$7,030.81
**** 10 - HVAC	\$4,000.00	\$6,435.52
**** 11 - ELECTRIC POWER AND LIGHTING	\$14,000.00	\$22,524.32
**** 12 - SITE IMPROVEMENTS	\$50,208.00	\$80,778.65
Building & Site Total	\$310,224.00	\$499,113.19
==== SUMMARY =====		
General Conditions - 12%		\$37,226.88
Profit - 10%		\$31,022.40
Design Contingency - 20%		\$62,044.80
Insurance & Bonding - 1.65%		\$5,118.70
Escalation per Year - 8%		\$53,476.41
		\$188,889.19
ESTIMATE TOTAL		\$499,113.19

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 4

9/8/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	4.0	Mo.	\$1,600.00	\$6,400.00
Dumpster Rental	4.0	Mo.	\$1,245.00	\$4,980.00
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	4.0	Mo.	\$14,889.00	\$59,556.00
Superintendent	4.0	Mo.	\$12,320.00	\$49,280.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	4.0	Mo.	\$1,500.00	\$6,000.00
Structural Testing	4.0	Mo.	\$1,250.00	\$5,000.00
Temporary Porta Toilet	4.0	Mo.	\$500.00	\$2,000.00
Trade Permits & Fees	1	LSUM	\$425.00	\$425.00
Pedestrian Control Measures	1	LSUM	\$1,500.00	\$1,500.00
				<u>\$148,691.00</u>
Total **** 01 - GENERAL REQUIREMENTS				\$148,691.00
*** 02 - EXISTING CONDITIONS & DEMOLITION				
Removal of One-story Kitchen Structure	360	SF	\$45.00	\$16,200.00
				<u>\$16,200.00</u>
Total **** 02 - EXISTING CONDITIONS & DEMOLITION				\$16,200.00
*** 04 -EXTERIOR CLOSURE				
Shutters - Rebuilt & Installed in Historic Locations	1	LS	\$5,580.00	\$5,580.00
				<u>\$5,580.00</u>
Total **** 04 -EXTERIOR CLOSURE				\$5,580.00
*** 05 - THERMAL AND MOISTURE PROTECTION				
Misc. General Caulking & Damp-proofing	1	LS	\$1,450.00	\$1,450.00
Rebuild Shed Roof	1	LS	\$5,400.00	\$5,400.00
Repair of Exposed Roof From Kitchen Removal & Tie-in	1	LS	\$4,850.00	\$4,850.00
				<u>\$11,700.00</u>
Total **** 05 - THERMAL AND MOISTURE PROTECTION				\$11,700.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 4

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 06 - INTERIOR CONSTRUCTION				
Repair & Refinish Existing East Entry Door	1	EA	\$2,390.00	\$2,390.00
Construct New Bulkhead & Staircase For Basement Access	1	LS	\$11,750.00	\$11,750.00
Repair of Exposed Exterior Surfaces From Kitchen Removal	1	LS	\$8,500.00	\$8,500.00
Rm 112 Door - New Hardware, Weatherstripping, Patch & Refurbish as Needed	1	EA	\$2,380.00	\$2,380.00
Rm 108 - Remove Door & Replaced w/Original Window - Infill/Patch as Needed	1	EA	\$4,500.00	\$4,500.00
Bulkhead Doors - Customed Wood - Painted	1	EA	\$6,500.00	\$6,500.00
				<u>\$36,020.00</u>
Total **** 06 - INTERIOR CONSTRUCTION				\$36,020.00
*** 07 - INTERIOR FINISHES				
Plaster or GWB RM 108 & Repaint	160	SF	\$28.00	\$4,480.00
Rm 108 Remove Subfloor -Reconstruct Floor To Match Adjacent	45	SF	\$55.00	\$2,475.00
				<u>\$6,955.00</u>
Total **** 07 - INTERIOR FINISHES				\$6,955.00
*** 08 - FIRE PROTECTION SYSTEMS				
Fire Suppression System - Allowance	1	EA	\$12,500.00	\$12,500.00
				<u>\$12,500.00</u>
Total **** 08 - FIRE PROTECTION SYSTEMS				\$12,500.00
*** 09 - PLUMBING				
Demolition of Existing Wall Mtd. LAV	1	EA	\$ 150.00	\$150.00
Demolition of Existing Wall Mtd. SHO	1	EA	\$ 140.00	\$140.00
Demolition of Existing Wall Mtd. WC	1	EA	\$ 190.00	\$190.00
Demolition of Existing Kitchen Fixtures	1	EA	\$ 190.00	\$190.00
Demolition of Existing Plumbing Piping	1	LS	\$ 3,700.00	\$3,700.00
				<u>\$4,370.00</u>
Total **** 09 - PLUMBING				\$4,370.00
*** 10 - HVAC				
Removal of Mechanical Systems in the Demolition of the 2000 Addition. Patch or Repair Any remaining Spaces or systems Impacted by the Demolition	1	LS	\$4,000.00	\$4,000.00
				<u>\$4,000.00</u>

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 4

9/8/2024

Description	Quantity	U/M	Unit Rate	Total
Total ****10 - HVAC				\$4,000.00
*** 11 - ELECTRIC POWER AND LIGHTING				
A01 - Base Estimate **** 11 - Electrical **** 11110 - Service & Distribution				
Demo Electrical in 2000 Addition & Make Safe	360	SF	\$7.50	\$2,700.00
				<u>\$2,700.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11210 - Lighting				
New Site Lighting In East Garden	1	LS	\$7,500.00	\$7,500.00
Discreet Lighting Mounted To Garden Wall	1	LS	\$6,500.00	\$6,500.00
				<u>\$14,000.00</u>
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$14,000.00
*** 12 - SITE IMPROVEMENTS				
*** 12 00 00 - Exterior Improvements **** 12 50 00 - Site Preparation				
Construction Entrance, Erosion & Sediment Control Devices				
Construction Laydown Area w/Temp Fencing	1	LS	\$5,500.00	\$5,500.00
Erosion Control Devices - Allowance	1	LS	\$3,500.00	\$3,500.00
Regrade Demolition Area & Gravel	1,050	SF	\$7.50	\$7,875.00
				<u>\$16,875.00</u>
*** 12 00 00 - Exterior Improvements **** 12 40 00 - Terrace, Walls & Hardscape				
Reinstall Salvaged Brick Pavers For New Walkway	1	LS	\$3,500.00	\$3,500.00
New Paver Area	175	SF	\$27.40	\$4,795.00
Enlarge Cellar For Future Removal of Interior Stairs	1	LS	\$14,278.00	\$14,278.00
Restore Existing Garden Wall	28	LF	\$245.00	\$6,860.00
				<u>\$29,433.00</u>
*** 12 00 00 - Exterior Improvements **** 12 80 00 - Landscaping				
New landscape Beds	200	SF	\$19.50	\$3,900.00
				<u>\$3,900.00</u>
Total **** 12 - SITE IMPROVEMENTS				\$50,208.00
TOTAL PROJECT DIRECT COST				\$310,224.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 5

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$52,439.50	\$84,368.88
**** 03 - SUPERSTRUCTURE	\$13,410.00	\$21,575.08
**** 06 - INTERIOR CONSTRUCTION	\$13,740.00	\$22,106.01
**** 12 - SITE IMPROVEMENTS	\$28,366.00	\$45,637.49
Building & Site Total	\$107,955.50	\$173,687.44
==== SUMMARY =====		
General Conditions - 12%		\$12,954.66
Profit - 10%		\$10,795.55
Design Contingency - 20%		\$21,591.10
Insurance & Bonding - 1.65%		\$1,781.27
Escalation per Year - 8%		\$18,609.37
		<u>\$65,731.94</u>
ESTIMATE TOTAL		\$173,687.44

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 5

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	2.0	Mo.	\$1,600.00	\$3,200.00
Dumpster Rental	2.0	Mo.	\$1,245.00	\$2,490.00
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	0.5	Mo.	\$14,889.00	\$7,444.50
Superintendent	1.5	Mo.	\$12,320.00	\$18,480.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	2.0	Mo.	\$1,500.00	\$3,000.00
Structural Testing	2.0	Mo.	\$1,250.00	\$2,500.00
Temporary Porta Toilet	2.0	Mo.	\$500.00	\$1,000.00
Trade Permits & Fees	1	LSUM	\$425.00	\$425.00
Pedestrian Control Measures	1	LSUM	\$350.00	\$350.00
				<u>\$52,439.50</u>
Total *** 01 - GENERAL REQUIREMENTS				\$52,439.50
*** 03 - SUPERSTRUCTURE				
Repair bowed north wall. Consider adding tie rods in the wall tied to the ceiling joists in the ell.	1	LS	\$5,260.00	\$5,260.00
Excavate and Rebuild Unstable Portions and Repair The Wooden Beams Supporting The Internal Partitions.	1	LS	\$8,150.00	\$8,150.00
				<u>\$13,410.00</u>
Total *** 03 - SUPERSTRUCTURE				\$13,410.00
*** 06 - INTERIOR CONSTRUCTION				
Install New Door Systems For Existing Privy Opens	3	LOC	\$4,580.00	\$13,740.00
				<u>\$13,740.00</u>
Total *** 06 - INTERIOR CONSTRUCTION				\$13,740.00
*** 12 - SITE IMPROVEMENTS				
*** 12 00 00 - Exterior Improvements **** 12 50 00 - Site Preparation				
Construction Entrance, Erosion & Sediment Control Devices				
Construction Laydown Area w/Temp Fencing	1	LS	\$2,500.00	\$2,500.00
Erosion Control Devices - Allowance	1	LS	\$1,850.00	\$1,850.00
Regrade Demolition Area & Gravel Paving Area Prep	250	SF	\$7.50	\$1,875.00
				<u>\$6,225.00</u>

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 5

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 12 00 00 - Exterior Improvements **** 12 40 00 - Terrace, Walls & Hardscape				
Add A New Gate Between Corner Of House And New Wall w/Locking System	1	EA	\$2,650.00	\$2,650.00
New Gate	1	EA	\$2,100.00	\$2,100.00
New Brick (Salvaged) Paver Walkway	270	SF	\$23.80	\$6,426.00
At Parking Area - Modify Paving As Required For Access To The New Walkway	150	SF	\$15.00	\$2,250.00
Remove Portion Of Existing Site Wall & Construct New Extended Brick Wall	27	LF	\$245.00	\$6,615.00
Site Signage	1	LS	\$2,100.00	\$2,100.00
				<u>\$22,141.00</u>
Total **** 12 - SITE IMPROVEMENTS				\$28,366.00
TOTAL PROJECT DIRECT COST				\$107,955.50

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 6

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$166,418.00	\$267,746.59
**** 05 - THERMAL AND MOISTURE PROTECTION	\$1,050.00	\$1,689.32
**** 06 - INTERIOR CONSTRUCTION	\$24,675.00	\$39,699.11
**** 07 - INTERIOR FINISHES	\$11,980.00	\$19,274.38
**** 08 - FIRE PROTECTION SYSTEMS	\$30,000.00	\$48,266.40
**** 09 - PLUMBING	\$5,040.00	\$8,108.76
**** 10 - HVAC	\$4,000.00	\$6,435.52
**** 11 - ELECTRIC POWER AND LIGHTING	\$70,248.00	\$113,020.60
Building & Site Total	\$313,411.00	\$504,240.69
==== SUMMARY =====		
General Conditions - 12%		\$37,609.32
Profit - 10%		\$31,341.10
Design Contingency - 20%		\$62,682.20
Insurance & Bonding - 1.65%		\$5,171.28
Escalation per Year - 8%		\$54,025.79
		<u>\$190,829.69</u>
ESTIMATE TOTAL		\$504,240.69

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 6

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	4.5	Mo.	\$1,600.00	\$7,200.00
Dumpster Rental	4.5	Mo.	\$1,245.00	\$5,602.50
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	4.5	Mo.	\$14,889.00	\$67,000.50
Superintendent	4.5	Mo.	\$12,320.00	\$55,440.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	4.5	Mo.	\$1,500.00	\$6,750.00
Structural Testing	4.5	Mo.	\$1,250.00	\$5,625.00
Temporary Porta Toilet	4.5	Mo.	\$500.00	\$2,250.00
Trade Permits & Fees	1	LSUM	\$1,500.00	\$1,500.00
Pedestrian Control Measures	1	LSUM	\$1,500.00	\$1,500.00
				<u>\$166,418.00</u>
Total **** 01 - GENERAL REQUIREMENTS				\$166,418.00
*** 05 - THERMAL AND MOISTURE PROTECTION				
Misc. General Caulking & Damp-proofing	1	LS	\$1,050.00	\$1,050.00
				<u>\$1,050.00</u>
Total **** 05 - THERMAL AND MOISTURE PROTECTION				\$1,050.00
*** 06 - INTERIOR CONSTRUCTION				
Opening. Infill Opening As Required By Creating Infill Panel To Include The Window With Wood Framing And Painted Wood Panel Finish	1	EA	\$5,480.00	\$5,480.00
Provide Structural Upgrades To The House Below Room 103 (SE Chamber) And Room 104 (Parlor) To Increase The Allowable To A Minimum Of 50 Psf.	600	SF	\$15.70	\$9,420.00
Smokehouse: Restore The Interior Of The Smokehouse To Its Original Appearance. Repair Or Reconstruct The Existing Exterior Door On The East Wall, With Appropriate Locking Hardware.	85	SF	\$115.00	\$9,775.00
				<u>\$24,675.00</u>
Total **** 06 - INTERIOR CONSTRUCTION				\$24,675.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 6

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 07 - INTERIOR FINISHES				
Plaster or GWB RM 108 & Repaint	160	SF	\$28.00	\$4,480.00
Floor Covering: Provide Screen Printed Vinyl Floor Coverings In All Publicly Accessible Spaces On First Floor. Floor Coverings To Have Printed Image That Mimics The Existing Floor Surface For Each Room. F	1	LS	\$7,500.00	\$7,500.00
				<u>\$11,980.00</u>
Total **** 07 - INTERIOR FINISHES				\$11,980.00
*** 08 - FIRE PROTECTION SYSTEMS				
Provide New FM-200 Fire Suppression System for the House, Allowance	1	LS	\$30,000.00	\$30,000.00
				<u>\$30,000.00</u>
Total **** 08 - FIRE PROTECTION SYSTEMS				\$30,000.00
*** 09 - PLUMBING				
Demolition of Existing Wall Mtd. LAV	2	EACH	\$ 150.00	\$300.00
Demolition of Existing Wall Mtd. SHO	2	EACH	\$ 140.00	\$280.00
Demolition of Existing Wall Mtd. WC	2	EACH	\$ 190.00	\$380.00
Demolition of Existing Kitchen Fixtures	2	EACH	\$ 190.00	\$380.00
Demolition of Existing Plumbing Piping	1	LSUM	\$ 3,700.00	\$3,700.00
				<u>\$5,040.00</u>
Total **** 09 - PLUMBING				\$5,040.00
*** 10 - HVAC				
Removal of Mechanical Systems in the Demolition of the 2000 Addition. Patch or Repair Any remaining Spaces or systems Impacted by the Demolition	1	LS	\$4,000.00	\$4,000.00
				<u>\$4,000.00</u>
Total ****10 - HVAC				\$4,000.00
*** 11 - ELECTRIC POWER AND LIGHTING				
A01 - Base Estimate **** 11 - Electrical **** 11110 - Service & Distribution				
New 400A Service & Replace Existing Panelboards	1	LS	\$26,500.00	\$26,500.00
Rewire Existing Fixtures & New Circuits & Receptacles For New Exhibit Components	1	LS	\$6,500.00	\$6,500.00
				<u>\$33,000.00</u>

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 6

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
A01 - Base Estimate **** 11 - Electrical **** 11210 - Lighting				
New Lighting (Rooms 116,117 & 118)	80	SF	\$32.00	\$2,560.00
Emergency Lighting	1	LS	\$1,250.00	<u>\$1,250.00</u>
				\$3,810.00
A01 - Base Estimate **** 11 - Electrical **** 11310 - Fire Alarm				
New Fire Alarm System	1	EACH	\$33,438.00	<u>\$33,438.00</u>
				\$33,438.00
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$70,248.00
TOTAL PROJECT DIRECT COST				\$313,411.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

Bethesda, Maryland

9/6/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$96,579.50	\$155,384.83
**** 02 - SUBSTRUCTURE	\$11,900.00	\$19,145.67
**** 03 - SUPERSTRUCTURE	\$4,845.00	\$7,795.02
**** 05 - THERMAL AND MOISTURE PROTECTION	\$4,500.00	\$7,239.98
**** 06 - INTERIOR CONSTRUCTION	\$42,695.00	\$68,691.13
**** 11 - ELECTRIC POWER AND LIGHTING	\$38,470.00	\$61,893.61
Building & Site Total	\$198,989.50	\$320,150.23
==== SUMMARY =====		
General Conditions - 12%		\$23,878.74
Profit - 10%		\$19,898.95
Design Contingency - 20%		\$39,797.90
Insurance & Bonding - 1.65%		\$3,283.33
Escalation per Year - 8%		\$34,301.81
		\$121,160.73
ESTIMATE TOTAL		\$320,150.23

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	4.0	Mo.	\$1,600.00	\$6,400.00
Dumpster Rental	4.0	Mo.	\$1,245.00	\$4,980.00
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	0.5	Mo.	\$14,889.00	\$7,444.50
Superintendent	4.0	Mo.	\$12,320.00	\$49,280.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	4.0	Mo.	\$1,500.00	\$6,000.00
Structural Testing	4.0	Mo.	\$1,250.00	\$5,000.00
Temporary Porta Toilet	4.0	Mo.	\$500.00	\$2,000.00
Trade Permits & Fees	1	LSUM	\$425.00	\$425.00
Pedestrian Control Measures	1	LSUM	\$1,500.00	\$1,500.00
				<u>\$96,579.50</u>
Total **** 01 - GENERAL REQUIREMENTS				\$96,579.50
*** 02 - SUBSTRUCTURE				
<i>Building</i> the floor joists, and ameliorate other structural issues. Preserve the evidence in the framing of the former corner	1	LS	\$11,900.00	\$11,900.00
				<u>\$11,900.00</u>
Total **** 02 - SUBSTRUCTURE				\$11,900.00
*** 03 - SUPERSTRUCTURE				
RM 001 - Remove the modern stair to the first floor and repair the joists and flooring.	1	LS	\$4,845.00	\$4,845.00
				<u>\$4,845.00</u>
Total **** 03 - SUPERSTRUCTURE				\$4,845.00
*** 05 - THERMAL AND MOISTURE PROTECTION				
Misc. General Caulking & Damp-proofing	1	LS	\$4,500.00	\$4,500.00
				<u>\$4,500.00</u>
Total **** 05 - THERMAL AND MOISTURE PROTECTION				\$4,500.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 06 - INTERIOR CONSTRUCTION				
Rm 001 - Repair or replace damaged masonry units and mortar joints using best practices and historic lime mortar formulations designed to the match the original mortar in strength, texture, and color. Follow directions of structural engineer to reinforce and repair any cracks and other structural issues. Use hand-operated tools to remove as much cement mortar as possible.	1	LS	\$7,355.00	\$7,355.00
RM 002 - Repair the deteriorated mortar at the former cellar door opening infill to the west of the chimney base.	1	LS	\$635.00	\$635.00
1797 Cellar - Clean, repair, and/or replace damaged masonry units and mortar joints using best practices and historic lime mortar formulations designed to the match the original mortar in strength, texture, and color.	1	LS	\$15,680.00	\$15,680.00
1797 Cellar - Make structural repairs. Follow directions of structural engineer to reinforce and repair any cracks, support the floor joists, and ameliorate other structural	1	LS	\$8,775.00	\$8,775.00
1797 Cellar - Retain & protect the modern brick floor.	1	LS	\$2,500.00	\$2,500.00
Construct 1:20 Slope Wood Ramps At Locations Of Floor Height Transitions	1	LS	\$4,250.00	\$4,250.00
Construct Metal Handrails As Required At Stairs To Access Basement	1	LS	\$3,500.00	\$3,500.00
				<u>\$42,695.00</u>
Total **** 06 - INTERIOR CONSTRUCTION				\$42,695.00
*** 11 - ELECTRIC POWER AND LIGHTING				
A01 - Base Estimate **** 11 - Electrical **** 11110 - Service & Distribution				
1797 Cellar - Remove nonfunctional wiring and rewire as recommended by engineer.	1	LS	\$5,870.00	\$5,870.00
1797 Cellar - Reuse existing fixtures or replace as recommended by engineer.	1	LS	\$3,800.00	\$3,800.00
				<u>\$9,670.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11210 - Lighting				
Provide New Lighting Systems In The Basement	1,600	SF	\$18.00	\$28,800.00
				<u>\$28,800.00</u>
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$38,470.00
TOTAL PROJECT DIRECT COST				\$198,989.50

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

Bethesda, Maryland

9/8/2024

PROJECT RECAP & SUMMARY - CSI Master Format

Description	Direct Cost	Total Mark-Up Cost
**** 01 - GENERAL REQUIREMENTS	\$87,372.00	\$140,571.06
**** 03 - SUPERSTRUCTURE	\$9,740.00	\$15,670.49
**** 04 - EXTERIOR CLOSURE	\$1,475.00	\$2,373.10
**** 05 - THERMAL AND MOISTURE PROTECTION	\$5,000.00	\$8,044.40
**** 06 - INTERIOR CONSTRUCTION	\$7,961.00	\$12,808.29
**** 07 - INTERIOR FINISHES	\$18,885.00	\$30,383.70
**** 10 - HVAC	\$9,833.00	\$15,820.12
**** 11 - ELECTRIC POWER AND LIGHTING	\$16,520.00	\$26,578.70
Building & Site Total	\$156,786.00	\$252,249.86
===== SUMMARY =====		
General Conditions - 12%		\$18,814.32
Profit - 10%		\$15,678.60
Design Contingency - 20%		\$31,357.20
Insurance & Bonding - 1.65%		\$2,586.97
Escalation per Year - 8%		\$27,026.77
		<u>\$95,463.86</u>
ESTIMATE TOTAL		\$252,249.86

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

9/8/2024

Description	Quantity	U/M	Unit Rate	Total
*** 01 - GENERAL REQUIREMENTS				
*** 01 - General Requirements*** 01 00 00 - Administrative Requirements				
Daily Construction Clean-up	3.5	Mo.	\$1,600.00	\$5,600.00
Dumpster Rental	3.5	Mo.	\$1,245.00	\$4,357.50
Final Clean-up	1	Wks.	\$1,850.00	\$1,850.00
Project Manager (1/3 Time)	0.5	Mo.	\$14,889.00	\$7,444.50
Superintendent	3.5	Mo.	\$12,320.00	\$43,120.00
GC - Demobilization	1	Each	\$3,200.00	\$3,200.00
GC - Mobilization	1	Each	\$8,500.00	\$8,500.00
Storage & Office Trailer (Med) - Includes Desk, Chairs, IT, First Aid Kit and Bottled Water Supply	3.5	Mo.	\$1,500.00	\$5,250.00
Structural Testing	3.5	Mo.	\$1,250.00	\$4,375.00
Temporary Porta Toilet	3.5	Mo.	\$500.00	\$1,750.00
Trade Permits & Fees	1	LSUM	\$425.00	\$425.00
Pedestrian Control Measures	1	LSUM	\$1,500.00	\$1,500.00
				<u>\$87,372.00</u>
Total **** 01 - GENERAL REQUIREMENTS				\$87,372.00
*** 03 - SUPERSTRUCTURE				
The roof joists and ceiling in the Northeast Chamber, temporarily repaired in 2022, should be raised, leveled.	1	LS	\$9,740.00	\$9,740.00
				<u>\$9,740.00</u>
Total **** 03 - SUPERSTRUCTURE				\$9,740.00
*** 04 -EXTERIOR CLOSURE				
1797 Upper Floor - The dormer sash stops may need to be completed to prevent moisture infiltration.	1	LS	\$1,475.00	\$1,475.00
				<u>\$1,475.00</u>
Total **** 04 -EXTERIOR CLOSURE				\$1,475.00
*** 05 - THERMAL AND MOISTURE PROTECTION				
Misc. General Caulking & Damp-proofing	1	LS	\$5,000.00	\$5,000.00
				<u>\$5,000.00</u>
Total **** 05 - THERMAL AND MOISTURE PROTECTION				\$5,000.00

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

9/6/2024

Description	Quantity	U/M	Unit Rate	Total
*** 06 - INTERIOR CONSTRUCTION				
RM 201 & 202 - Remove low partition around the toilet in Room 202. Patch walls and ceiling after removal of bath fixtures.	1	LS	\$2,735.00	\$2,735.00
RM 201 & 202- Clean and maintain hardware as needed.	1	LS	\$1,224.00	\$1,224.00
1797 Upper Floor - Clean and maintain hardware as needed.	1	LS	\$612.00	\$612.00
1797 Upper Floor - Patch walls and ceiling that remain after removal of bath fixtures in Room 203.	1	LS	\$3,390.00	\$3,390.00
				<u>\$7,961.00</u>
Total **** 06 - INTERIOR CONSTRUCTION				\$7,961.00
*** 07 - INTERIOR FINISHES				
RM 201 & 202 - Clean and maintain the existing firebox, chimney, and hearth as found. Remove paint from hearth.	1	LS	\$2,260.00	\$2,260.00
RM 201 & 202 - Clean and even out floor finish by rotary buffing the floor gently and treating with an appropriate wax.	1	LS	\$3,270.00	\$3,270.00
RM 201 & 202 - Patch opening from plumbing pipe & fixture removals	1	LS	\$680.00	\$680.00
historic paint scheme.	1	LS	\$7,255.00	\$7,255.00
1797 Upper Floor - Clean and maintain the existing firebox, chimney, and hearth as found. Remove paint from hearth.	1	LS	\$2,260.00	\$2,260.00
1797 Upper Floor - Clean and even out floor finish by rotary buffing the floor gently and treating with an appropriate wax	1	LS	\$3,160.00	\$3,160.00
				<u>\$18,885.00</u>
Total **** 07 - INTERIOR FINISHES				\$18,885.00
*** 10 - HVAC				
Rm 201 & 202 - Relocate the ceiling HVAC registers and thermostat to the degree that is practical.	1	LS	\$4,508.00	\$4,508.00
1784 Attic - Relocate duct work as appropriate.	1	LS	\$2,665.00	\$2,665.00
Rm 205 - Rearrange ducts as possible to improve interpretation of the original form of the smoke house..	1	LS	\$2,660.00	\$2,660.00
				<u>\$9,833.00</u>
Total ****10 - HVAC				\$9,833.00
*** 11 - ELECTRIC POWER AND LIGHTING				
A01 - Base Estimate **** 11 - Electrical **** 11110 - Service & Distribution				
1797 Cellar - Remove nonfunctional wiring and rewire as recommended by engineer.	1	LS	\$5,870.00	\$5,870.00
1797 Cellar - Reuse existing fixtures or replace as recommended by engineer.	1	LS	\$3,800.00	\$3,800.00
				<u>\$9,670.00</u>
A01 - Base Estimate **** 11 - Electrical **** 11210 - Lighting				
RM 201 & 202 - Check to see if the fixtures need rewiring.	1	LS	\$3,750.00	\$3,750.00
RM 205 - Retain or replace lighting under the roof to make attic space visible.	1	LS	\$6,850.00	\$6,850.00
				<u>\$10,600.00</u>

CCS International, Inc.

Project: Murray-Dick-Fawcett Historical Structure - COMPONENT 9

9/8/2024

Description	Quantity	U/M	Unit Rate	Total
Total **** 11 - ELECTRIC POWER AND LIGHTING				\$16,520.00
TOTAL PROJECT DIRECT COST				\$156,786.00

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